

Request for Decision



To: Committee of the Whole

From: **Development and Engineering Services**

Date: February 11, 2019

Subject: Development Permit No. DP1903 Proposed Non-Medical Cannabis Retail Store Licence at 426 Central Ave.

Recommendation: **THAT the Committee of the Whole recommends to Council to direct staff to proceed with the statutory requirements for public notice respecting a Non-Medical Cannabis Retail Store Licence application proposed for 426 Central Ave, legally described as Lot 1, District Lot 108, SDYD, Plan KAP46322, PID 017-570-221.**

Background

The applicant, BC BASE CAMP INVESTMENT LTD., has applied to the Liquor and Cannabis Regulation Branch (LCRB) for a Non-Medical Cannabis Retail Store (CRS) Licence proposed to be located at 426 Central Avenue.

The Owner has applied to the City for a Development Permit to vary three (3) of four (4) regulations in section 58 of the Zoning Bylaw that regulate the location of retail cannabis stores.

The City separately initiated an amendment to the regulations in section 58 of the Zoning Bylaw at the January 28, 2019 meeting. Some of the changes proposed in the Zoning Bylaw amendment, if passed, would affect whether all or some of the variances requested in this development permit need to be considered.

There is an existing, established (non-BC Government) liquor store on the property.

The applicant is proposing to redevelop the 2,282 square feet (212 square meter) existing liquor store building as follows:

1. Non-Medical Cannabis Retail Store – 238 square feet (22.1 square meter) complete with a separate entrance
2. Liquor Store – 2044 square feet (189.9 square meter).

Ownership

Owner(s):
0785681 BC Ltd.
2891 Abbott Street
Kelowna, BC
V1Y 1G5; and

Agent: Susanna Mayhew
BC Base Camp Investment Ltd.
250-493-0600

Brown Bridge Ventures Ltd
16-414 West Avenue
Kelowna, BC, V1Y 4Z4

Zoning and Policy Context

The property is approximately 0.1 hectare in size. The property is zoned Core Commercial (CC) in Zoning Bylaw 2039. The Zoning Bylaw permits Non-Medical Cannabis Retail Stores in the CC zone.

The property is in the Historic Downtown (HD) Development Permit Area (DPA) in the OCP. As part of the Core Commercial area of the City, it is subject to the DPA guidelines respecting site design, and building form and character identified in the OCP.

The redevelopment of the site entails partitioning off 238 square feet (22.1 square meters) from the existing 2282 square feet (212 square meter) liquor store complete with a separate new entrance. See Appendix 1 and Appendix 2.

The DPA guidelines are intended to ensure that developments in the core commercial area compliment the Historic Downtown area, have a high standard of visual character and help establish strong community identity.

The owner has applied for the variances outlined in Table 1 below. The owner's rationale for the variance(s) requested is also contained in Table 1.

Table 1 Variance Requested and Proponent's Rationale for Variances		
Zoning Bylaw Section Reference	Variance Requested	Proponent's Rationale for Variance
58.3 Cannabis Retail Overlay (CRO) - No building or structure may be within 100m of the nearest parcel boundary of a lot in a Community Use Zone ,	Reduce the distance to 15m	The application is for the sale of a controlled product, for sale to individuals 19 years of age and older. This location has been selling controlled retail products since 1985 with no issues
58.3 Cannabis Retail Overlay (CRO) - No Building or Structure may be within 100m of the nearest parcel boundary of a youth-centred facility	Reduce the distance to 91m	A Cannabis retail store operates under the same guidelines as a licenced retail liquor store. The operations are controlled by the LCRB and the RCMP. Any infraction can close the store indefinitely.
58.4 Cannabis Retail Overlay (CRO) - The front face of a building and any signage may be no less than 50m from a controlled highway	Reduce the required distance to 10m	This location successfully operated a drive thru liquor retail store from 1985 to 2012. There newer was any issues with department of highways. Any signage must first be approved by the City of Grand Forks. Size and location of signage will be discreet and tasteful.

This development does not meet the following criteria for exemption from a commercial development permit:

1. Internal alterations, which do not affect the outer appearance of the building
2. Construction of an accessory building or addition to a commercial building that does not alter patterns or requirements of parking, access, loading or landscaping on the site, and
3. Replacement of an existing sign or canopy, where the size and design of the replacement sign or canopy are generally consistent with the site or canopy being replaced.

For the above reasons a development permit application was submitted for this redevelopment.

Table 2 contains the list of DPA Guidelines applicable to this proposal and how the project responds to these guidelines.

Table 2 Historic Downtown Development Permit Area Guidelines for Development	
Development Permit Area Guideline	Project Response
1. Each building speaks to its period of construction. Interventions to existing buildings should be undertaken in a way that ensures that the character defining elements of that building and the downtown are conserved. Work to existing buildings must be visually and physically compatible with the character defining elements of the building.	The applicant will closely match the new store entrance to the look and feel of the existing store entrance. No other exterior changes are contemplated.
2. Off-street parking and loading should be encouraged where possible and designed to promote safe and efficient vehicle entrances and exits, and on-site circulation.	See Table 3 below.
3. No sign should be constructed or situated so that it disfigures or conceals any significant architectural feature of the building.	Applicant to supply additional information.
4. Off-street parking and loading should be encouraged where possible and designed to promote safe and efficient vehicle entrances and exits, and on-site circulation.	There is offstreet parking and loading for this development.

Access, Parking and Site Layout:

1. Existing vehicle access to the site can be gained from either Highway 3 (Central Avenue) in the front (north) or the alley to the rear (south) of the building. See Appendix 2.
2. Highway 3 is a controlled access highway.
3. Section 26 of Zoning Bylaw 2039 regulates offstreet parking on the site. The parking regulations require that this retail store development provide a total of (6) offstreet parking spaces. See Table 3 below.
4. An aerial view of the property shows seven (7) offstreet angled parking spaces. The orientation of the offstreet parking spaces differs from that

- submitted with this application. The applicant will provide and updated drawing that shows the actual offstreet parking space layout.
5. Vehicles exiting the site should not be directed to 4th street because it is not a dedicated road right of way.
 6. The offstreet loading area is on the south side of the property (see Table 3 below). Although not a Zoning Bylaw requirement offsite loading is a consideration for a development permit.
 7. The landscaped area fronting Highway 3 varies in depth from 2.6m to 3.6m.

Table 3 Parking Requirements for Modified Liquor Store and Proposed Non-Medical Cannabis Retail Store				
	Land Use	Floor Area (estimate)	Parking Requirement as per Zoning Bylaw	Parking Stalls Required
Winnipeg Liquor Store	Retail Store	2,044 sq. m.	one space per every 45 square metres of floor area	5
Non-Medical Cannabis Retail Store (Proposed)	Retail Store	189.9 sq. m.	one space per every 45 square metres of floor area	1
Total required for entire development				6
		Total provided with site redevelopment (aerial photo)		7

Comments from Referral Agencies

The project is being reviewed by affected referral agencies and a staff report will be presented to the committee.

Timing

The following next steps and time frames are outlined in Table 4 below:

Table 4 Timeframe	
ACTIVITY	TIMING
Committee of the Whole – Public Introduction of Application	February 11, 2019
Regular Council Meeting – Council Direct staff to proceed with statutory notice (letters to adjacent property owners and notice in 2 issues of the local paper)	February 11, 2019
Letters sent to adjacent property owners	February 12, 2019

Notice published in two consecutive issues of the newspaper	February 13 & February 20, 2019
Deadline for receiving written feedback	February 27, 2019
Committee of the Whole - Staff report on written feedback received	March 11, 2019
Regular Council Meeting - Council decision on DP Application - Council decision and direction to staff to send a letter of RECOMMENDATION or REJECTION of the Non-Medicinal Cannabis Retail Store Licence application to the LCRB	March 11, 2019

Benefits or Impacts

General

This regime to legalize the non-medical use and sale of cannabis is a new one to British Columbia. The application and implementation processes are therefore in their infancy. **This is the first Non-Medical Cannabis Retail Licence application being considered by council.**

Strategic Impact



Community Engagement

- Notice will be provided to adjacent property owners and in 2 editions of the local newspaper. Written comments will be accepted and will be forwarded to the LCRB.



Economic Growth

- The project may provide additional jobs and growth opportunities for the existing business.

Policy/Legislation

Local Government Act; Official Community Plan; Zoning Bylaw, Cannabis Control Licencing Act.

Attachments

Appendix 1:

- Pages 1: Aerial Photo with 100m Buffer
- Pages 2 - 3: Context maps
- Pages 4 - 5: Application notification Letter from Liquor and Cannabis

	Regulation Branch
Page 6:	Floor Plan submitted with LCRB application
Page 7:	Revised Floor Plan submitted to LCRB
Pages 8 - 9:	Development Permit Application (DP)
Pages 10-11:	Development Variance Permit (variances combined in DP)
Appendix 2:	
Page 1:	Rev. 2 – Original Traffic Plan submitted for highways approval
Pages 2-10:	Architectural Plans – Original Building Permit Submission.

Recommendation

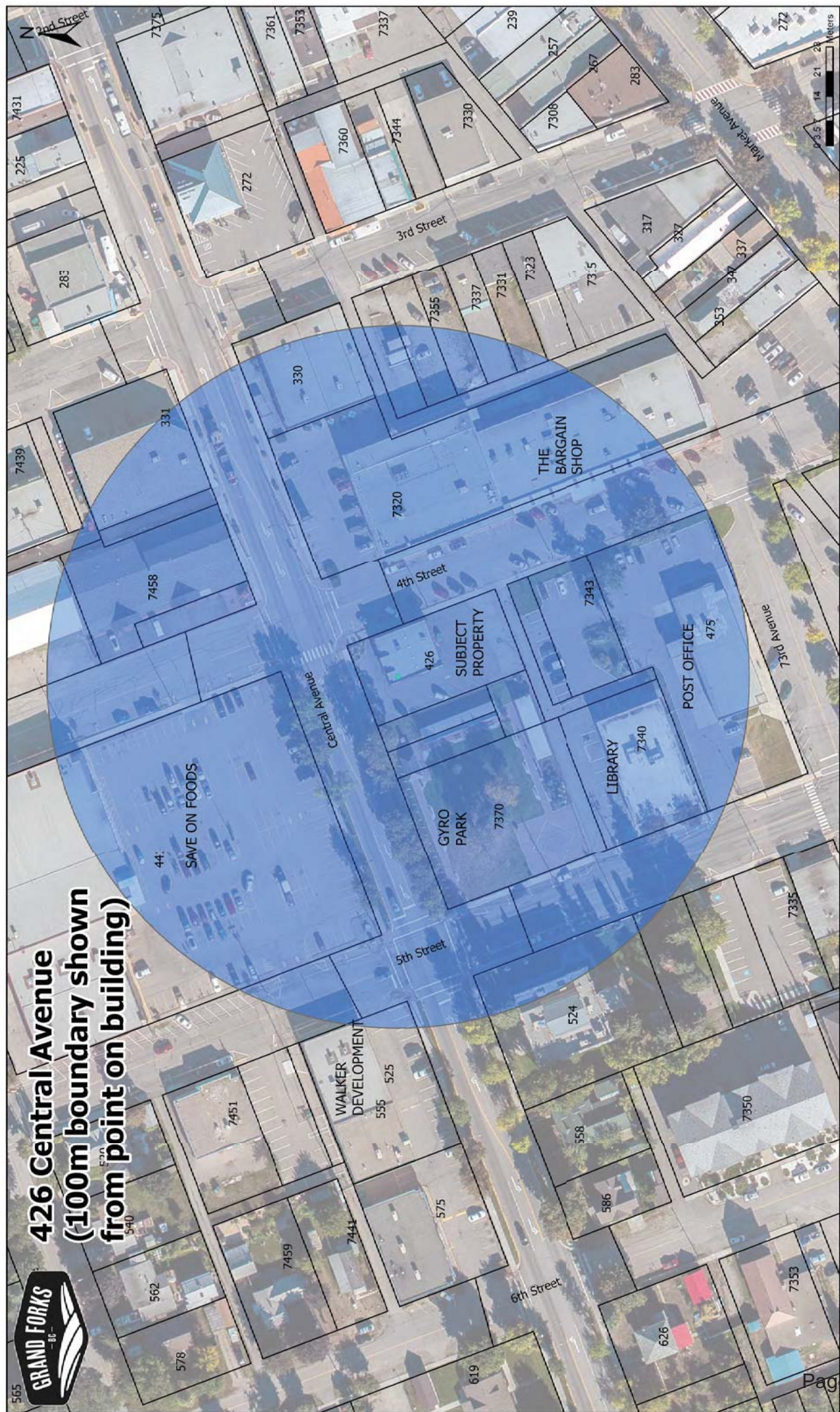
THAT the Committee of the Whole recommends to Council to direct staff to proceed with the statutory requirements for public notice respecting a Non-Medical Cannabis Retail Store Licence application proposed for 426 Central Ave, legally described as Lot 1, District Lot 108, SDYD, Plan KAP46322, PID 017-570-221.

Options

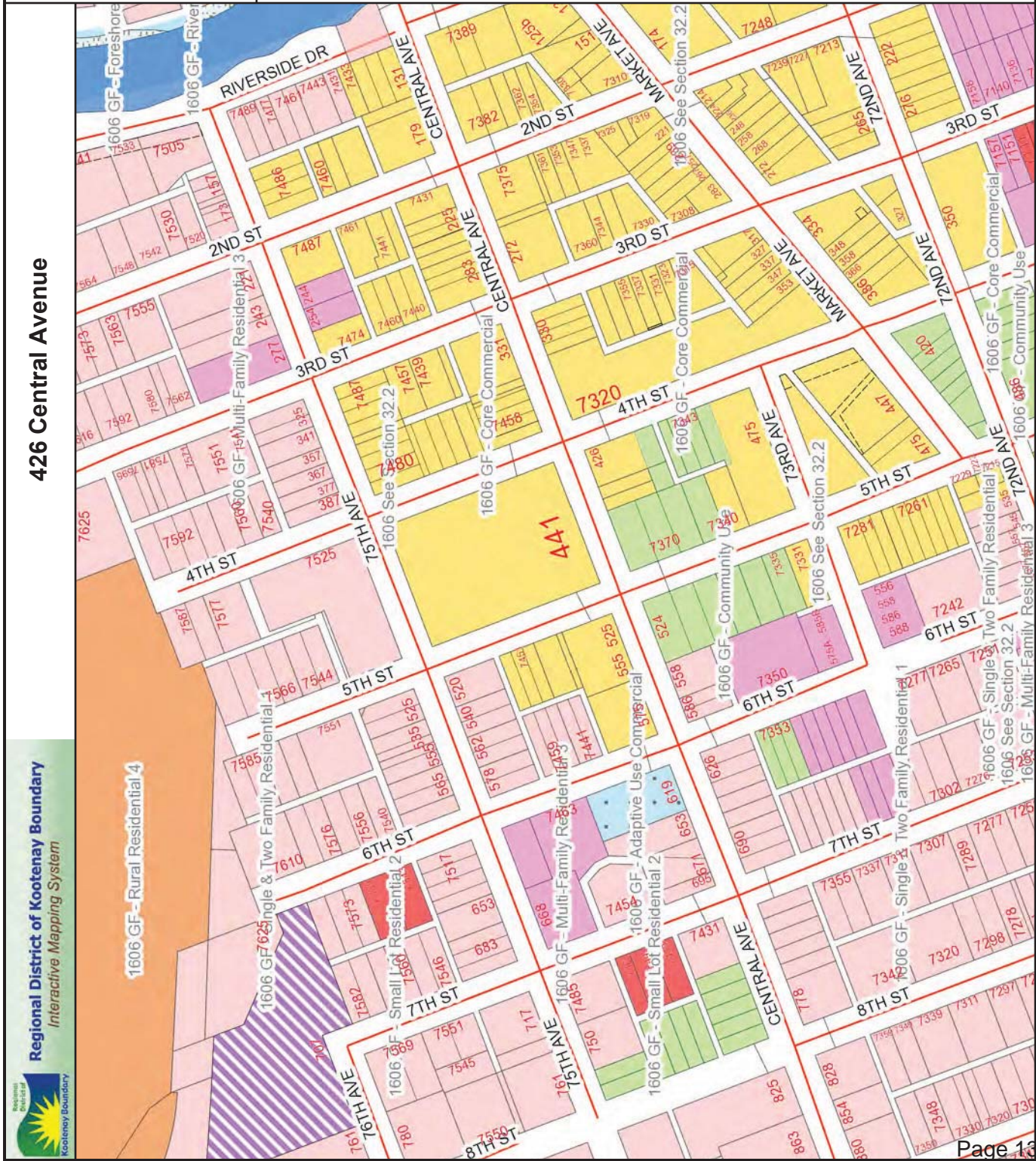
1. THAT the Committee of the Whole accepts the report.
2. THAT the Committee of the Whole does not accept the report.
3. THAT the Committee of the Whole refers the matter back to staff for further information.



426 Central Avenue (100m boundary shown from point on building)

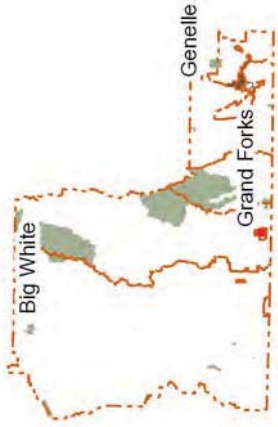


The City of Grand Forks makes every effort to ensure that this map is free of errors but cannot guarantee accuracy or fitness for any purpose, and does not provide warranty of any kind. The City accepts no liability for any expenses, losses, damages or costs relating to the use of this map or data. This map must not be used for direct marketing or be used in the breach of the privacy laws of the City of Grand Forks.



426 Central Avenue

Regional District of Kootenay Boundary
Interactive Mapping System



Legend

- Admin
- Cadastral Lines
 - CAD_DISTRICT_LOT
 - CAD_GAS
 - CAD_HIGHWAY
 - CAD_HYDRO
 - CAD_INTER_BDY
 - CAD_LOTLINE
 - CAD_LOTLINE_LICENSE
 - CAD_LOTLINE_WATER
 - CAD_RAILWAY
 - CAD_RAILWAY_ABAN
 - CAD_ROAD
 - CAD_TELEPHONE
 - CAD_TOWNSHIP
- Miscellaneous Cadastral Lines
 - CADM_AIRSTRIP
 - CADM_ARROW
 - CADM_BRIDGE
 - CADM_DEWDNEY_TRAIL
 - CADM_EASEMENT
 - CADM_HOOK
 - CADM_LEASE_LICENSE

Scale: 1:3,547

1 cm represents 35.47 m



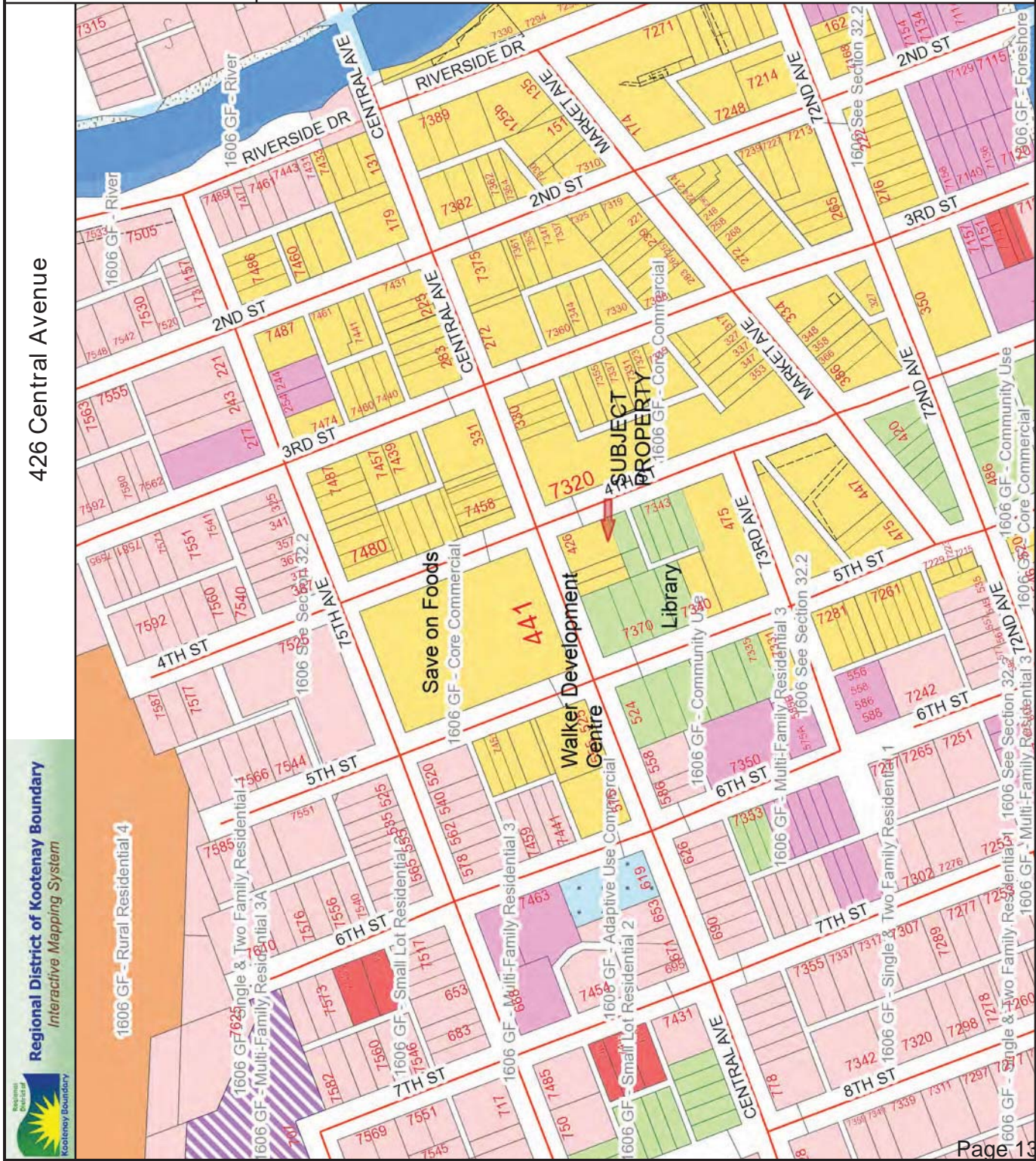
Notes:



This map is for general information only. The RDKB does not guarantee its accuracy or correctness. All information should be verified.

Printed on 02-Jan-2019

Datum: NAD 1983 Projection: UTM Zone 11N



Notes:



Job #001819

November 30, 2018

Leford Lafayette
Planning Technician
7217 4th St
Grand Forks, BC V0H 1H0

Dear Leford Lafayette:

Re: Application for a Non-Medical Cannabis Retail Store Licence
Applicant: BC BASE CAMP INVESTMENT LTD.
Proposed Establishment Name: Cannabis Corner
Proposed Establishment Location: 426 Central Avenue in Grand Forks

The Applicant, BC BASE CAMP INVESTMENT LTD., has applied to the Liquor and Cannabis Regulation Branch (LCRB) for a Non-Medical Cannabis Retail Store (CRS) licence proposed to be located at the above-noted address. The applicant is requesting operating hours from 9:00am to 11:00pm, seven days a week. The applicant contact is Susanna Mayhew who can be reached at (250) 493-0600 or Susanna.Mayhew@ca.gt.com.

Local governments and Indigenous nations are a crucial part of the licensing process. Section 33(1) of the [Cannabis Control and Licensing Act](#) prevents the LCRB from issuing a CRS licence without a positive recommendation regarding the CRS licence application from the local government or Indigenous nation.

The LCRB is requesting the City of Grand Forks to consider the application and provide the LCRB with a written recommendation with respect to the application. To assist with your assessment of the application, a site map of the proposed cannabis retail store is attached. The following link opens a document which provides specific and important information and instructions on your role in the CRS licensing process, including requirements for gathering the views of residents.

[Local Governments' Role in Licensing Non-Medical Cannabis Retail Stores](#)
OR
[Indigenous Nations' Role in Licensing Non-Medical Cannabis Retail Stores](#)

The LCRB will initiate an applicant suitability assessment regarding this CRS application, also known as a “fit and proper” assessment, which is comprised of financial integrity checks and security screenings of the applicant and persons associated with the applicant. Once the

assessment is complete, you will be notified of the LCRB's determination. You may choose to withhold your recommendation until the LCRB has made a final decision regarding the applicant's suitability.

If you choose not to make any recommendation regarding this application, please contact the LCRB at the earliest convenience. Please note that a Cannabis Retail Store Licence cannot be issued unless the LCRB receives a positive recommendation from the local government or Indigenous nation. Similarly, if a local government or Indigenous nation decides not to make any recommendation, the LCRB will not consider the application any further.

If you have any questions regarding this application please contact me at (778) 974-2552 or carly.milton@gov.bc.ca.

Sincerely,



Carly Milton
Senior Licensing Analyst

Attachment

copy: LCRB Inspector
BC BASE CAMP INVESTMENT LTD.

GRAND FORKS
SITE PLAN



425 CENTRAL AVENUE

Corner Landscaping
Bench and Signage

80'-0" x 54'-0" (24.4m x 16.5m)

Customer Parking (6.5ft x 22ft)
1 per 454sf = 4.17 spaces

HDCP

EXISTING ACCESS OFF
CENTRAL TO REMAIN

LOT 1

(11,826.5sf - 1,098.75m)

Proposed Lot Coverage = 17.05%

Lot 12

Lot 20

147.65ft (45.00m)
156 - 01 - 40

Possible Large Vehicle / RV Parking

4TH STREET

ROAD (10ft Wide)

147.65ft (45.00m)
156 - 00 - 00

9ft Setback to Roof (Aft to Walls)

NEW BUILDING
(2,016 sq. ft.)

OFFSTREET
LOADING (12ft x 30ft)

Staff

Staff

2 dumpsters

15ft x 30ft x 8ft

80'-0" x 54'-0" (24.4m x 16.5m)

Lot 2

LANE (12ft Wide)

SITE PLAN
Scale: 1" = 20ft

LEGAL DESCRIPTION
Lot 1 Plan: KAP46322

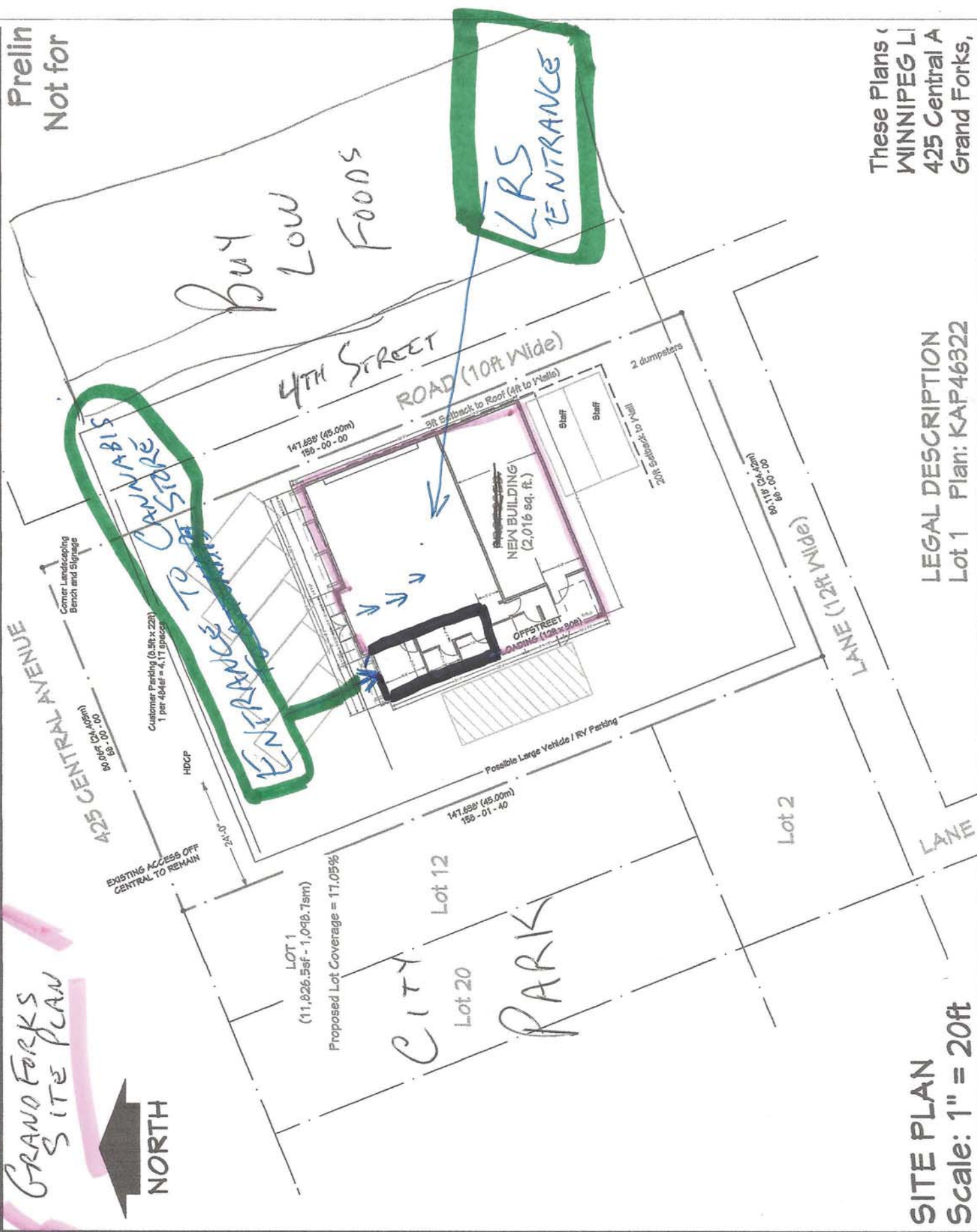
These Plans (WINNIPEG LI
425 Central A
Grand Forks,

buy
Low
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Prelim
Not for

GRAND FORKS
SITE PLAN

IRON





DEVELOPMENT PERMIT APPLICATION

LOCAL GOVERNMENT ACT, SECTION 490

APPLICATION FEE \$200.00

Receipt No. _____

Requirement of the City of Grand Forks Sustainable Community Plan Bylaw No. 1919 for all multi-family, hillside development, commercial, light industrial and environmentally sensitive developments, alterations and subdivisions. All new development where City services are available will be subject to Development Cost Charges.

Registered Owner(s): BROWN BRIDGE VENTURES LTD
AND 0785681 B.C. LTD

Mailing Address: 2891 ABBOTT ST
KELOWNA, B.C. V1Y 1G5

Telephone: Home: 25 Work 250-859-3877

Legal Description & P.I.D.:
LOT 1, PLAN KAP46322, DISTRICT LOT 108, SIMILKAMEEN DIV OF YALE LAND DIST.
PID: 017-570-221

Street Address: 426 CENTRAL AVE

DECLARATION PURSUANT TO THE WASTE MANAGEMENT ACT

I, WILLIAM IRVINE, owner of the subject property described on this application form, hereby declare that the land which is the subject of this application has not, to my knowledge, been used for industrial or commercial activity as defined in the list of "Industrial Purposes and Activities" (Schedule 2) of the Contaminated Sites Regulation (B.C. Reg. 375/96). I therefore declare that I am not required to submit a Site Profile under Section 26.1 or any other section of the Waste Management Act.


William Irvine
 (signature)

JANUARY 29, 2019
 (date)


Description of Proposed Subdivision and or Development to be included in the Development Permit Area:

A NEW / SEPARATE ENTRANCE IN A BUILDING IN THE HISTORIC
DOWNTOWN DEVELOPMENT PERMIT AREA

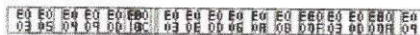
Submit the following information with the application:

1. For Commercial or Industrial subdivision applications  plan showing new lots to be created.
2. For development purposes, a legible site plan drawn to scale, showing the following:
 - (a) The boundaries and dimensions of the subject property.
 - (b) The location of any proposed or present buildings.
 - (c) Color rendition of proposed development.
 - (d) The location of off-street parking facilities.
 - (e) The location of off-street loading facilities.
 - (f) The location of any proposed access roads, screening, landscaping or fencing.
 - (g) The location of refuse containers and parking area lighting.
3. Professionally drawn site elevations, façade applications for proposed or present buildings, identifying colors, canopies, window trim and sign specifications.
4. Site Profile (if necessary in accordance with Section 557 of the Local Government Act).

Other information or more detailed information may be requested by the City of Grand Forks upon review of your application.


Signature of Owner

JAN 29, 2019
Date



I hereby authorize the person/company listed below to act on my behalf with respect to this application and that the information provided is full and complete and to the best of knowledge to be a true statement of the facts.

Name of Authorized Agent: _____

Mailing Address: _____

Telephone: _____ Email: _____

Owner(s) Signature of Authorization

THE CORPORATION OF THE CITY OF GRAND FORKS

7217 - 4TH STREET, BOX 220 · GRAND FORKS, BC V0H 1H0 · FAX 250-442-8000 · TELEPHONE 250-442-8266



DEVELOPMENT VARIANCE PERMIT APPLICATION

LOCAL GOVERNMENT ACT, SECTION 498

APPLICATION FEE \$350.00

Receipt No. 218629

Registered Owner(s): Brown Bridge Ventures Ltd
And 0785681 B.C. Ltd } OWNERS OF BUILDING

Mailing Address: 2891 ABBOTT STREET
KELOWNA, B.C. V1Y 1G5

Telephone: Home: _____ Work: 250-859-3877

Email: billirvine@shaw.ca

Legal Description: Lot 1, Plan KAP46322, District Lot 108, Similkameen Div of Yale L.D.

P.I.D: 017-570-221

Street Address: 426 CENTRAL AVE, GRAND FORKS, B.C. V0H 1H2

DECLARATION PURSUANT TO THE WASTE MANAGEMENT ACT

I, William Irvine, owner of the subject property described on this application form, hereby declare that the land which is the subject of this application has not, to my knowledge been used for industrial or commercial activity as defined in the list of "Industrial Purposes and Activities" (Schedule 2) of the Contaminated Sites Regulation (B.C. Reg. 375/96). I therefore declare that I am not required to submit a Site Profile under Section 26.1 or any other section of the Waste Management Act.

(signature)

(date)

JANUARY 3, 2019

Outline the provisions of the respective Bylaw(s) that you wish to vary and give your reasons for making this request:

SECTION 58 OF ZONING BYLAW 2039

1. NO BUILDING OR STRUCTURE MAY BE WITHIN 100M OF THE NEAREST PARCEL BOUNDARY OF A LOT IN COMMUNITY USE. REQUIRED 100M PROPOSED 25M

- THE APPLICATION IS FOR THE SALE OF A CONTROLLED PRODUCT, FOR SALE TO INDIVIDUALS 19 YEARS OF AGE AND OLDER. THIS LOCATION HAS BEEN SELLING CONTROLLED RETAIL PRODUCTS SINCE 1985 WITH NO ISSUES.

2. 100M OF THE NEAREST PARCEL BOUNDARY OF A YOUTH CENTRED FACILITY

REQUIRED	PROPOSED
100M	91M

- A CANNABIS RETAIL STORE OPERATES UNDER THE SAME GUIDELINES AS A LICENSED RETAIL LIQUOR STORE. THE OPERATIONS ARE CONTROLLED BY THE LCRB AND THE RCMP. ANY INFRACTIONS CAN CLOSE THE STORES INDEFINITELY.

3. 100M OF THE NEAREST EDGE OF BUILDING OF ANOTHER CANNABIS RETAIL SITE - COMPLIANT

4. THE FRONT FACE OF A BUILDING AND ANY SIGNAGE MAY BE NO LESS THAN 50M FROM A CONTROLLED HIGHWAY. REQUIRED 50M PROPOSED 10M

- THIS LOCATION SUCCESSFULLY OPERATED A DRIVE THRU LIQUOR RETAIL STORE FROM 1985 TO 2012. THERE NEVER WAS ANY ISSUES WITH DEPT OF HIGHWAYS

ANY SIGNAGE MUST FIRST BE APPROVED BY THE CITY OF GRAND FORKS. SIZE AND LOCATION OF SIGNAGE WILL BE DISCREET AND TASTEFUL.

Submit the following information with the application:

1. A legible site plan showing the following:

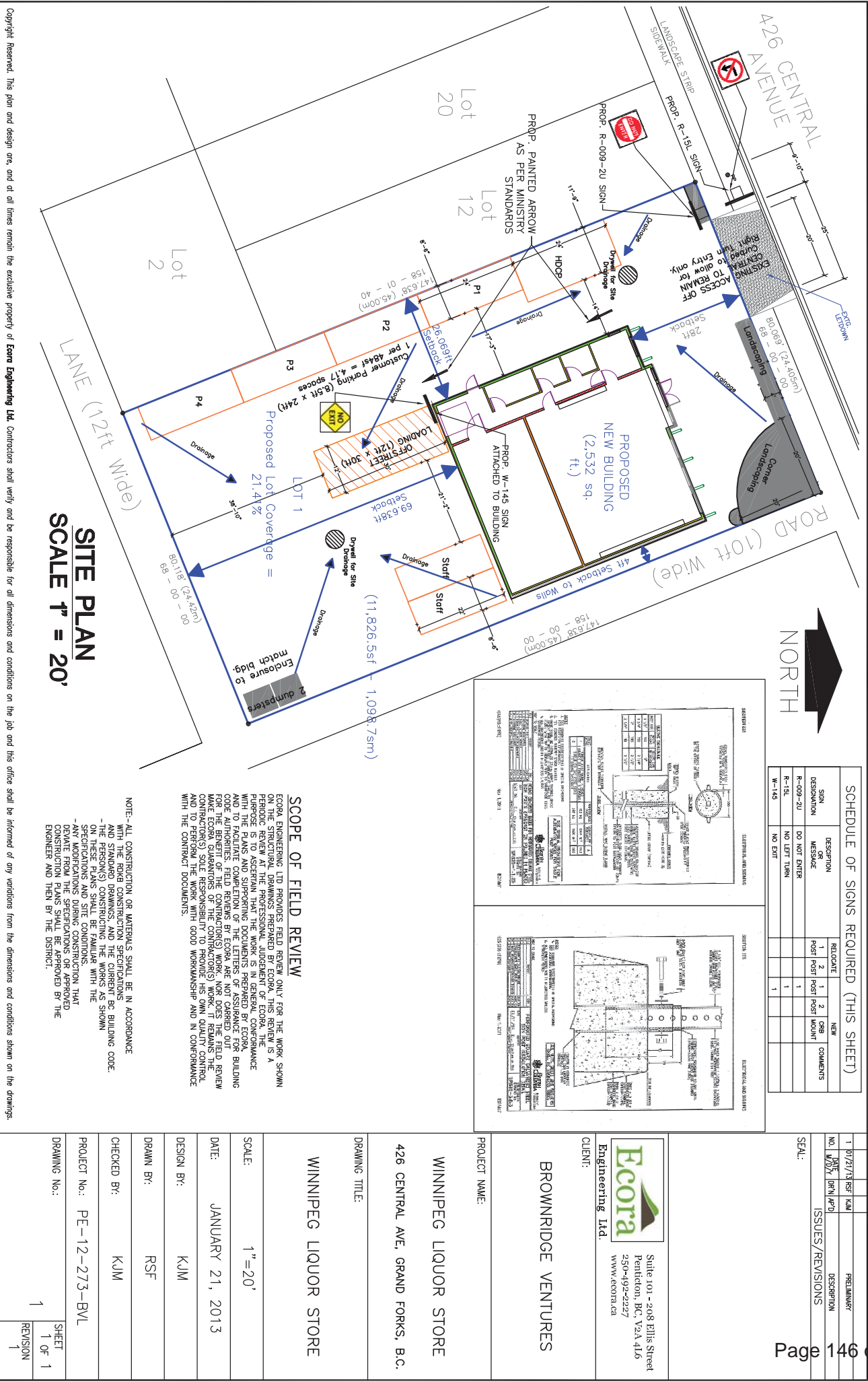
- The boundaries and dimensions of the subject property.
- The location of permanent or proposed buildings and structures existing on the property.
- The location of any proposed access roads, parking, screening, landscaping or fencing.
- The location and nature of any physical or topographic constraints on the property (stream, ravines, marshes, steep slopes, etc.)

Other information or more detailed information may be requested by the City of Grand Forks upon review of your application.

The information provided is full and complete and to the best of knowledge to be a true statement of the facts, relating to this application.

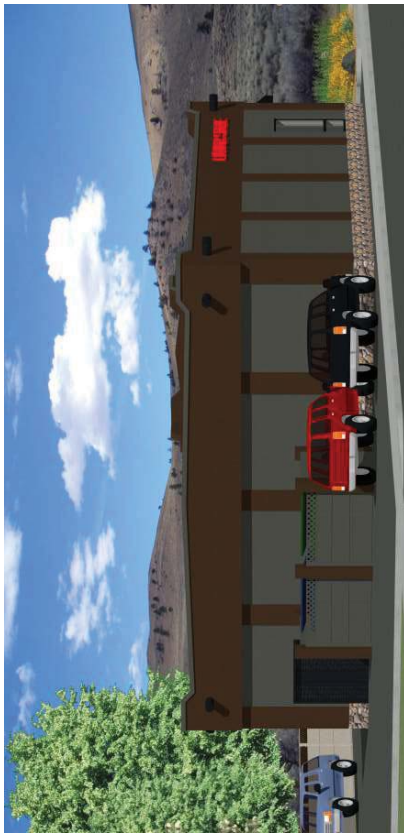
Signature of Owner

Date



Rev. May 12/13
5ft removed from Width
Rev. May 24/13
Reduced Size of Cooler Room
Rev. June 5-13
Cooler Room Wall to Bearing
Truss sloping to Rear
Rev. June 7-13
Eng. Notes Added
Cooler Room Extended
Rev. June 9-13
Front Entry, Utility/Storage
Ice Machine, Office Window
These Plans only for use at:
WINNIPEG LIQUOR STORE
426 Central Avenue
Grand Forks, BC

3D RENDERINGS



STANDARD NOTES

- All work shall conform to the current BC Building Code (2006) Parts 9 & 10 and local Bylaws.
- All work shall be equal in all aspects to good building practices.
- Written dimensions take precedence over scaling from drawings.
- Any variances from the structural drawings and specifications, and/or adjustments resulting from conditions encountered at the job site are the sole responsibility of the Owner and/or Builder.

ERRORS AND OMISSIONS

- Custom Drafting and Design by Grant makes every effort to provide complete and accurate building plans. However, we assume no liability for any errors or omissions that may affect construction. It is the responsibility of the Builder to check and verify all dimensions and details before proceeding with construction and/or excavation.
- Should any discrepancies be found on these plans please advise myself at your earliest convenience. By doing so I am able to make corrections to the drawings and replace any plans if necessary. In this way I can better serve you and prevent errors from recurring.

BUILDING PERMITS AND HOME OWNER WARRANTY PROTECTION

- Under no circumstances is work to commence until the Building Permit has been obtained.
- It is the responsibility of the Owner to obtain all the appropriate Building Permits and approvals from the authority having jurisdiction.
- It is the responsibility of the Owner to obtain a HPO number if he/she decides to undertake this project without a fully registered Builder.

RIPARIAN AND FLOODPLAIN

- It is the Owners responsibility to determine if their building location will invoke any Riparian and/or Floodplain issues.
- All costs associated with Riparian and/or Floodplain issues are the sole responsibility of the Owner.

STRUCTURAL DESIGN AND ENGINEERING

- In some instances it may be required to use beam sizes, framing details, foundation sizes, etc. not specified by the current BC Building Code. The governing Building Department may require confirmation by a certified Structural Engineer.
- In this area the Ground Snow Load often exceeds the design limits of the BC Building Code. In these instances a Certified Structural Engineer is required to design and approve all supporting wall structures (i.e. Walls and Foundations).
- All costs for Structural Engineering are the responsibility of the Owner or Builder.

STRUCTURAL DESIGN CRITERIA

- Unless otherwise specified all dimensional lumber is Spruce/Pine/Fir #2 or better.
- Concrete Foundations and Slabs-on-Grade have a minimum compressive strength of 20 mpa at 28 days.
- Garage and Carport Slabs as well as exterior Steps have a minimum compressive strength of 32 mpa at 28 days.
- Assumed Soil Bearing Capacity is 1,500 psi (75 kN/m sq)
- Roof Loads (Ground Snow Load) are dependent on Location and/or Elevation.
- Minimum Footing Depth for Frost Protection also varies from Location and/or Elevation.
- Residential Floor Loads are designed for a minimum 1.9 kPa.
- Residential Decks are designed for a minimum of 1.9 kPa or Snow Load, whichever is greater.
- Reinforcing Steel:
- In Footings shall be placed 3" above base
- In Walls and Columns 1 1/2" beyond the inside face of formwork.
- In Floor Slabs shall be placed in the center of slab

SITE PLAN NOTES

- The Owner and/or Builder are responsible for the correct siting of this building on the property.
- Custom Drafting and Design by Grant strongly recommends using a Registered Legal Land Surveyor to ensure the building is sited correctly and within all legal setbacks.
- Highways Access, driveways, potable water wells, and septic disposal systems are to be located and constructed in accordance with local governing bodies.

RENOVATIONS AND ADDITIONS

- Renovations and Additions of much older homes, particularly those that did not use Engineered Roof Trusses, may require Structural Engineering. These costs are the responsibility of the Owner.
- Additions in many rural areas require certification that the existing sewage disposal system will be able to handle any increased capacity due to the addition. This is the responsibility of the Owner.
- ALWAYS remeasure the area of construction, and roof slopes prior to commencing any construction and/or ordering materials (particularly roof trusses).

EXCAVATION, FOUNDATION AND BACKFILLING

- The excavation shall extend to a depth free of all organic and/or unsuitable materials.
- The excavated area shall be kept free from standing water.
- Foundations shall be concrete on solid undisturbed bearing.
- Bottom of all exterior footings and pads must be at the specified depth below grade for this region for frost protection.
- Foundation walls shall not be backfilled until concrete has reached its specified 28-day strength or until it is adequately based subject to the approving authority.

- Grades shown on plans are estimated. Foundation wall heights may require adjustments to suit site conditions.
- All concrete, masonry and ICF foundation walls exceeding height limits specified by the current BC Building Code require Engineering.
- Perimeter drainage shall be installed where required by the approving authorities.
- Backfill materials shall consist of granular material compacted to 98% Standard Dry Proctor.
- All backfilling shall be carried out in a manner that prevents damage to the foundation, damp proofing membrane and/or any drain tile.

DIMENSIONS

- Exterior dimensions are from the outside face of exterior wall sheathing to the center of partition walls as well as door and window openings unless otherwise shown. Where there are attached Garages this dimension is to the Garage side of the Wall. The sheathing face of the exterior stud is assumed to be flush with the concrete foundation.
- Interior dimensioning is from the inside stud face to inside stud face unless otherwise indicated.

WOOD FRAMING

- Unless otherwise specified all dimensional lumber is Spruce/Pine/Fir #2 or better.
- All floor sheathing is min. 5/8" T & G Plywood unless otherwise noted.
- All roof sheathing is min. 7/16" OSB unless otherwise noted.
- All exterior wall sheathing is 7/16" OSB unless otherwise noted.
- Joists shall be doubled under parallel partitions over 6'-0" long.
- Joists shall be placed to accommodate plumbing, heating, etc. Pay particular attention to toilet locations.
- All Limits, Headers and Beams shall be engineered Parallam PSL 2.0E unless noted otherwise. Provide manufacturers specification sheets at time of inspection.
- Provide manufacturers specification sheets for engineered floor systems and engineered roof trusses at time of inspection.

ELECTRICAL AND HEATING

- Little to no Electrical or Heating is indicated on these plans.
- Electrical work requires a separate Permit and Inspections.
- Gas connections require a separate Permit and Inspections.
- Installation of all electrical items must comply with local electrical codes and regulations and with the local electric power supplier's regulations in all aspects.
- Installation of entire heating systems, whether electric, forced warm air, or hot water, must comply with manufacturers directions and conform to local codes and regulations in all aspects.
- Fuel burning appliances, including furnaces, fireplaces and stoves to be provided with outside combustion air.

ENERGY AND WATER EFFICIENCY – Part 10 BC Building Code (2008)

- Unless alternatives to the requirements of Table 10.2.1.1 can be determined by methods specified in 10.2.1.1 (3) all those parts of buildings of less than 5 storeys in building height shall be provided with thermal insulation between heated and unheated spaces in conformance with Table 10.2.1.1 A
- There are three categories for insulation < 3500 Degree Days, 3500 Degree Days to 4500 Degree Days and > 4500 Degree Days.
- The flow rates of fittings that supply water to plumbing fixtures must not exceed the maximum flow rates specified on Table 10.3.1.1
- The flush cycle for the installation of a water closet or urinal must not exceed the flush cycle listed for that fixture in Table 10.3.1.2
- 6-mil poly vapour barrier with a UV protection shall be installed on the warm side of insulation.
- Ceiling insulation may be loose fill type or batt type.
- Wall and wood floor insulation shall be batt type.
- Provide baffle for air space (equal to soffit venting) between the insulation and roof sheathing at the exterior wall line.
- Walls and ceilings between residence and attached garage or carport shall be insulated.
- All roof or attic spaces shall be ventilated with soffit, roof or gable vents, or a combination of these.
- Attics or roof spaces to be vented a minimum 1/300 of area.
- Unheated crawl spaces to be vented a minimum of 1/500 of area. Vents shall be uniformly distributed on opposite sides of the building, and designed to prevent the entry of snow, rain and insects.

DOORS

- Exterior doors shall be solid core and weather-stripped.
- Garage doors to dwelling units to be solid core, weather-stripped and self-closing.
- Sliding Glass doors shall have safety glass.
- Door sizes are shown by width x height. i.e. 2668 is 2' - 6" x 6' - 8"
- Openings in partitions shown without doors are full height unless shown as an arch or indicated as having a bearing capacity.

WINDOWS

- Due to the many styles of windows no information is provided on the plans as to which windows are operable. Consult with Owner when pricing.
- Each bedroom shall have at least one outside window or exterior door operable from the inside without the use of keys, tools or special knowledge. This window shall provide an unobstructed opening of not less than 3.76sf (0.35 sq. m) in area with no dimension less than 15" (380mm).
- Window sizes are shown by width x height. i.e. 6040 is 6' - 0" x 4' - 0"

FINISHING

- The Owner shall specify all interior and exterior finishing.
- Any finishing shown on the plans to be confirmed by the Owner.
- Unless otherwise noted all clothes closets have a finished depth of 24"

SITE GRADING

The Site shall be graded to ensure surface water is directed away from the building.

GENERAL NOTES:

- NOTICE TO OWNERS & CONTRACTORS**
BC Building Code Requirements:
 - Building Security (Solid Blocking for Locks)
 - Mechanical Ventilation
 - Bedroom Window Emergency Escape
- RADON GAS BARRIER (Where Required)**
 - 6 mil poly under slab; joints lapped 1'-0" (min.)
 - Minimum 4" drain rock
 - Shower Doors
 - All exterior doors from rooms Windows to be sealed with flexible sealant
- Provide ENGINEERED BEAM manufacturer's engineered specification sheet(s) for framing inspection.
- Provide FLOOR TRUSSES/JOIST manufacturer's engineered layout & specification sheets for framing inspection.
- Provide ROOF TRUSSES manufacturer's engineered layout & specification sheets for framing inspection.
- ATTIC VENTING RATIO 1500 min. sq. ft. req'd at eaves
- Min. 25% req'd at top of roof
- PERIMETER DRAINAGE (where req'd)
 - filter cloth 6" x 6" min. drain rock top & sides
 - min. 4" drain pipe to drainwell (min. 20ft. from foundation)
- SECONDARY SUITES**
 - Where Secondary Suites are permitted
 - Provide separate heating and ventilation and
 - Provide horizontal fire separation.
 - Provide separate heating and ventilation duct systems or they must be designed and installed to prevent circulation of smoke upon a signal from a duct-type smoke detector.
 - Provide an additional interconnected smoke alarm or photo-electric type in each Suite.
- SAFETY AND TEMPERED GLASS**
 - Doors & Stairlights
 - Shower Doors
 - Windows less than 18" from floor
- GARAGE ACCESS DOORS** Solid Core w/ Self Closers & Weatherstripping
- BOTTOM OF ALL FOOTINGS** min. 30" below Grade.
- STEP FOOTINGS** AS REQUIRED (Max. 2'-0" In 2'-0")



Date: 10/06/2013
Page: 2 of 4
Scale: As Indicated

NOTES:
Use in conjunction with
FOR BUILDING PERMIT
Engineers Drawings

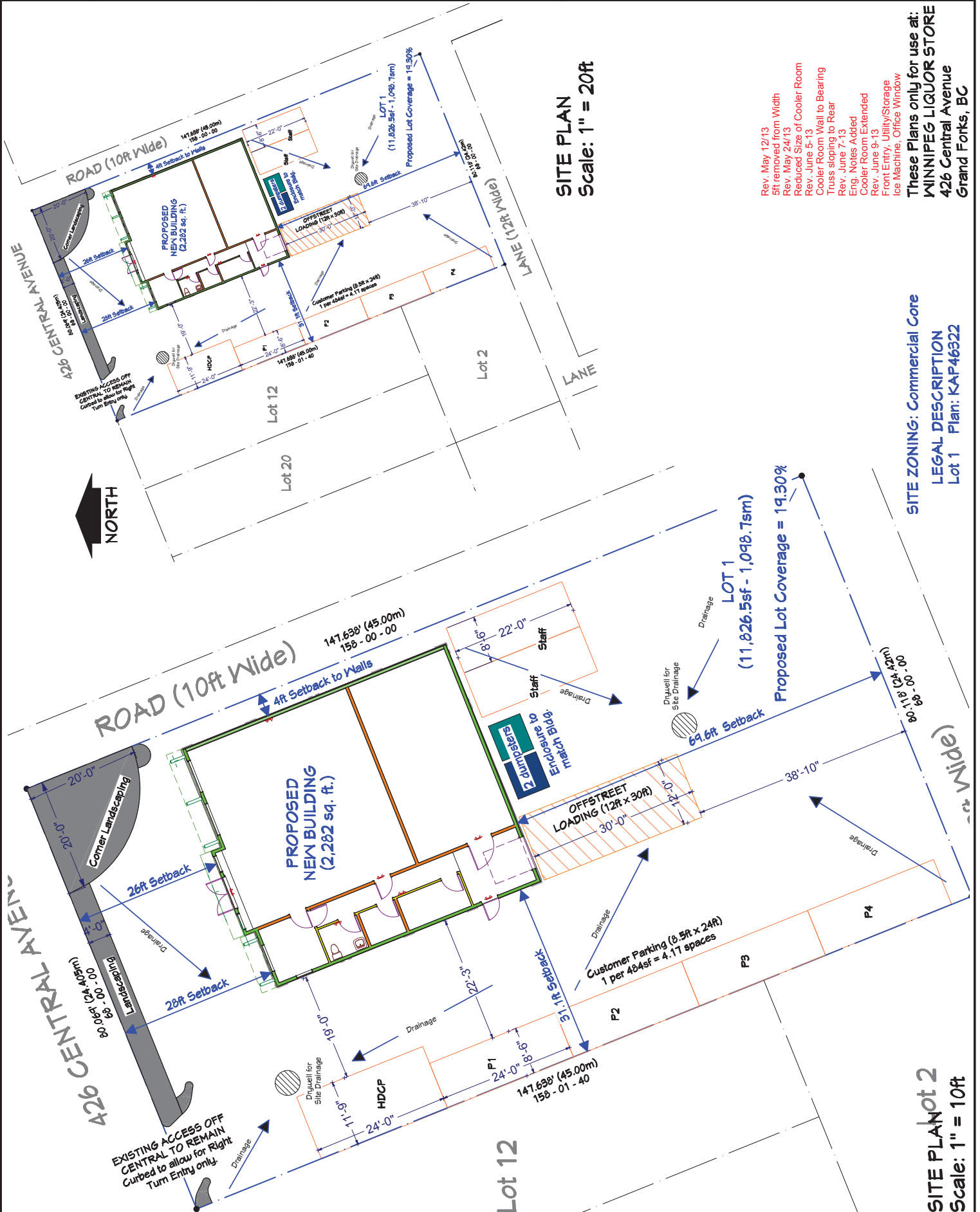
gmom@vip.net
Box 136, Osoyoos, BC
pht (250) 493-5266

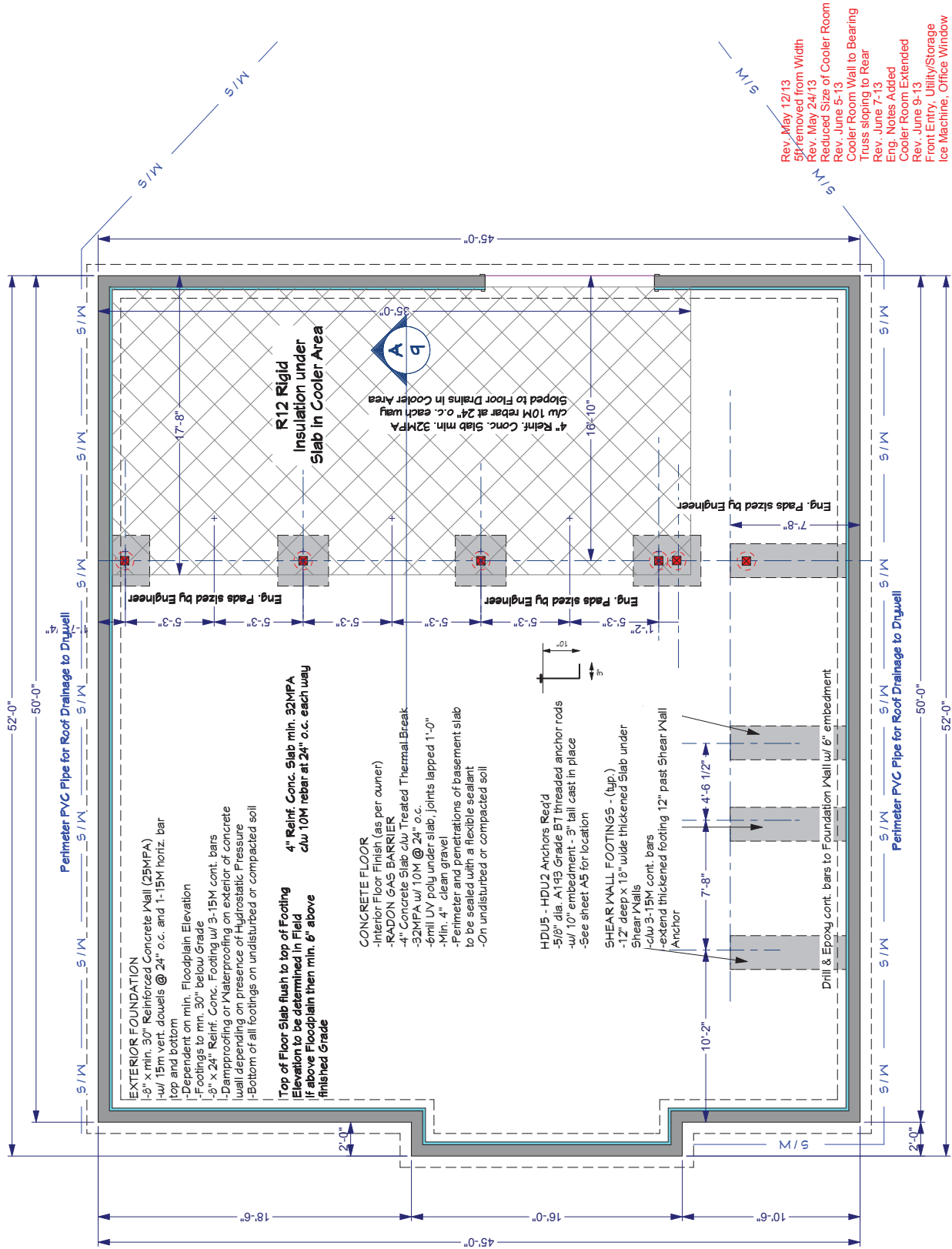
Custom Drafting & Design
ASCT, CRD, CEA
... by Grant

Rev. May 12/13
5ft removed from Width
Rev. May 24/13
Reduced Size of Cooler Room
Rev. June 5-13
Cooler Room Wall to Bearing
Truss sloping to Rear
Rev. June 7-13
Eng. Notes Added
Cooler Room Extended
Rev. June 9-13
Front Entry, Utility/Storage
Ice Machine, Office Window

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426 Central Avenue
Grand Forks, BC

SITE PLAN Lot 2
Scale: 1" = 10ft







Date: 10/06/2013
Page: 5 of 9
Scale: As Indicated

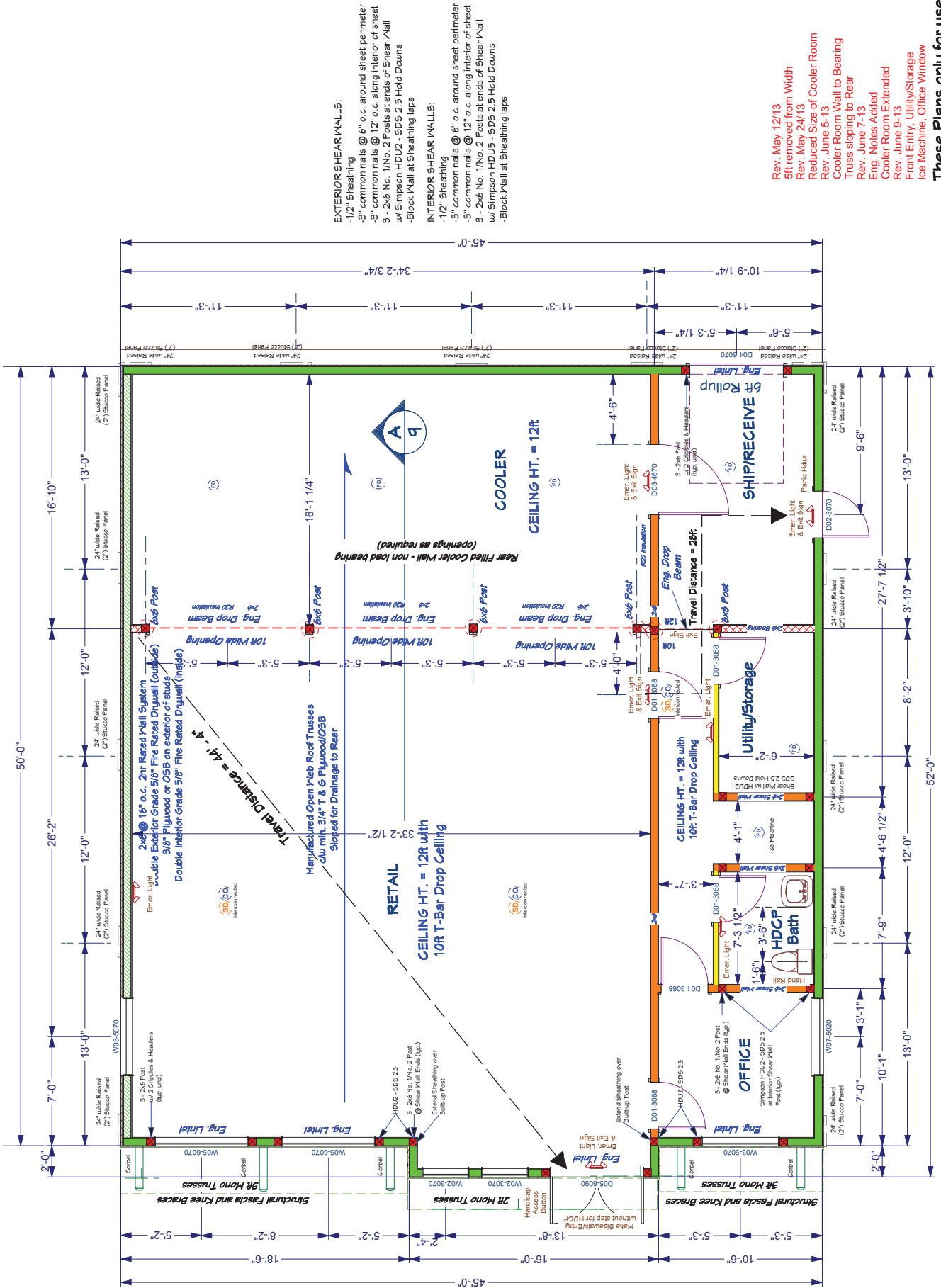
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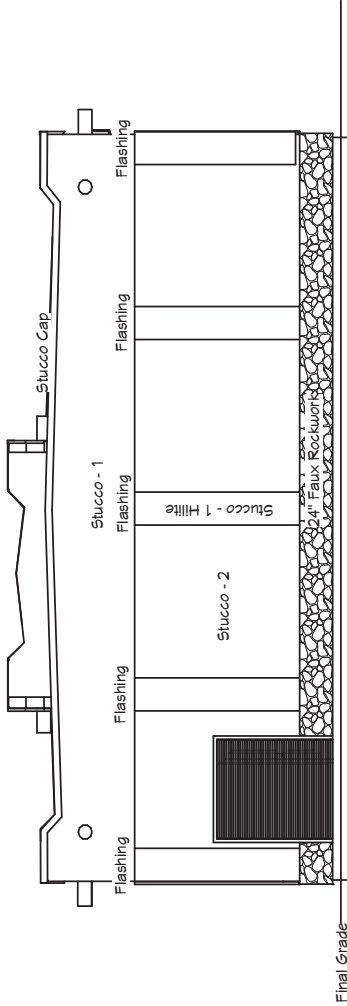


MAIN FLOOR PLAN
Scale: 1/4" = 1'-0"

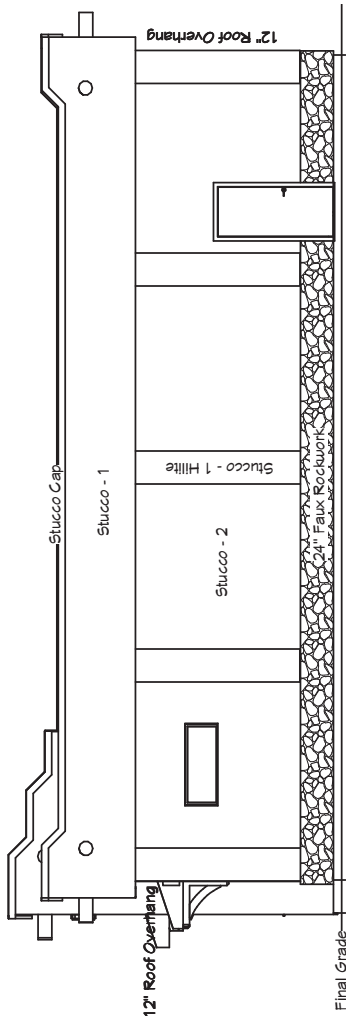
ROOF PLAN
Scale: 1/4" = 1' - 0"



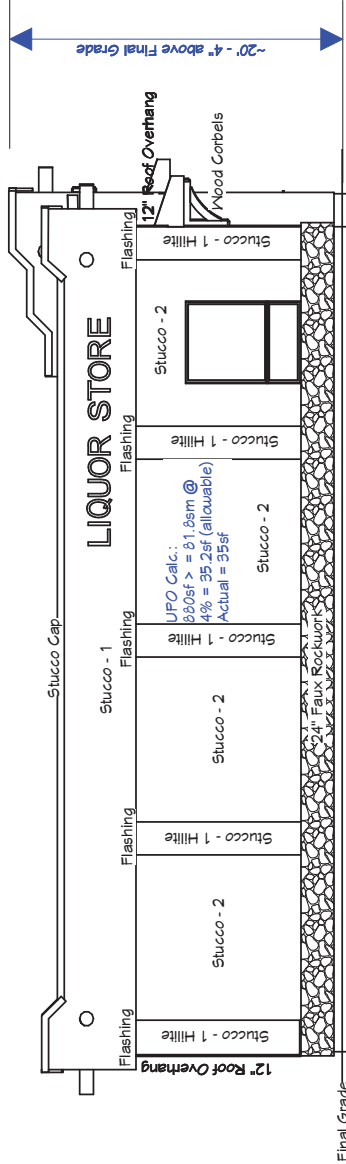
REAR ELEVATION
Scale: 3/16" = 1' - 0"



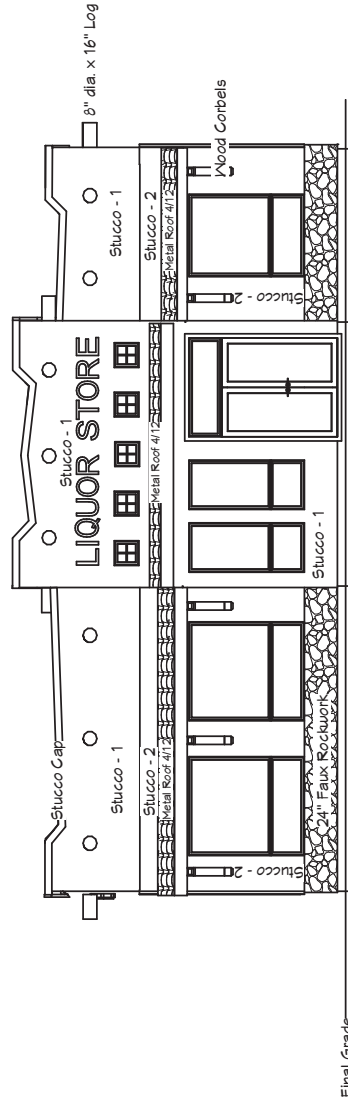
RIGHT ELEVATION
Scale: 3/16" = 1' - 0"



LEFT ELEVATION
Scale: 3/16" = 1' - 0"



FRONT ELEVATION
Scale: 3/16" = 1' - 0"



Rev. May 12/13
5ft removed from Width
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ROOM FINISH SCHEDULE	
ROOM NAME	STD. AREA (SQ. FT.)
COOLER	573
OFFICE	108
RETAIL	1162
SHIP/RECEIVE	245
HDCP BATH	53
STORAGE	83
UTILITY	49
TOTALS:	2273

DOOR SCHEDULE		
NUMBER	LABEL	QTY FLOOR
D01	D01-3068	6 1
D02	D02-3070	1 1
D03	D03-4670	1 1
D04	D04-6070	2 1

WINDOW SCHEDULE		
NUMBER	LABEL	QTY FLOOR
W01	W01-1616	5 2
W02	W02-3070	3 1
W03	W03-5070	1 1
W04	W04-6013	1 1
W05	W05-6070	2 1

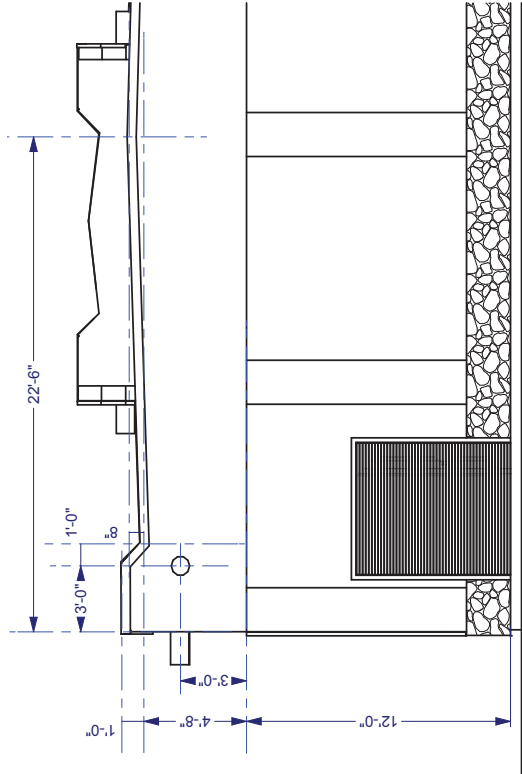
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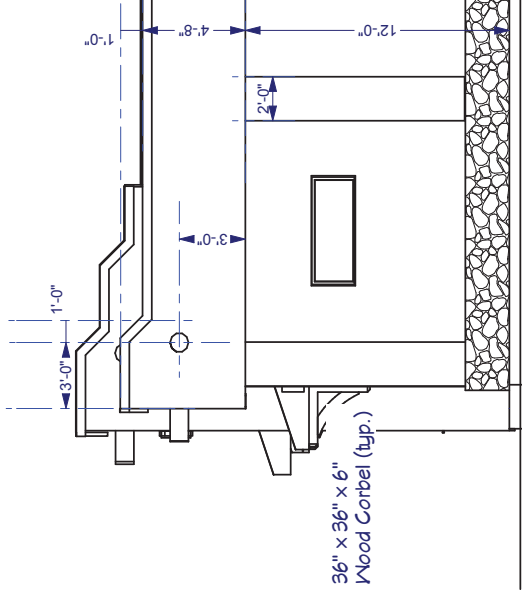
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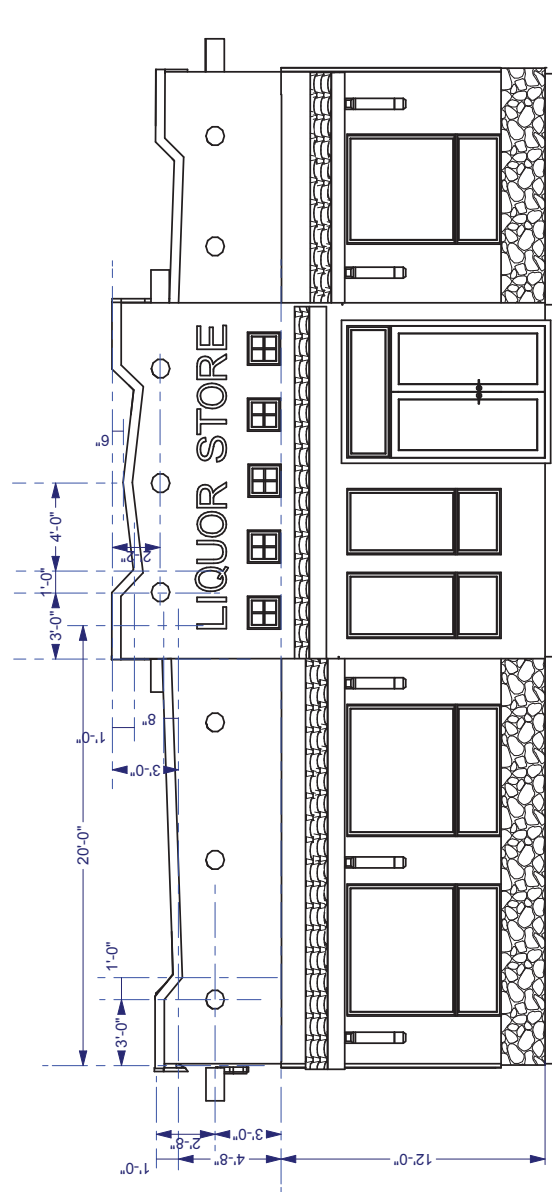
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Page: 7 of 9
Scale: As Indicated



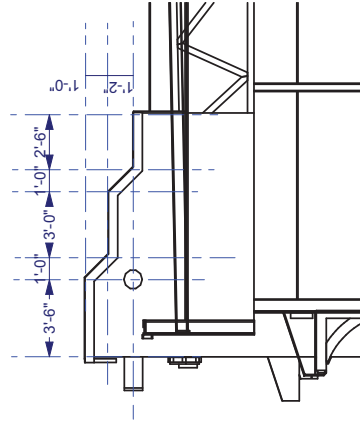
REAR LEFT PARAPET ELEVATION
Scale: 1/4" = 1' - 0"



FRONT RIGHT PARAPET ELEVATION
Scale: 1/4" = 1' - 0"



FRONT PARAPET ELEVATION
Scale: 1/4" = 1' - 0"



FRONT RIGHT RAISED PARAPET ELEVATION
Scale: 1/4" = 1' - 0"

- Rev. May 12/13
- 6ft removed from Width
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