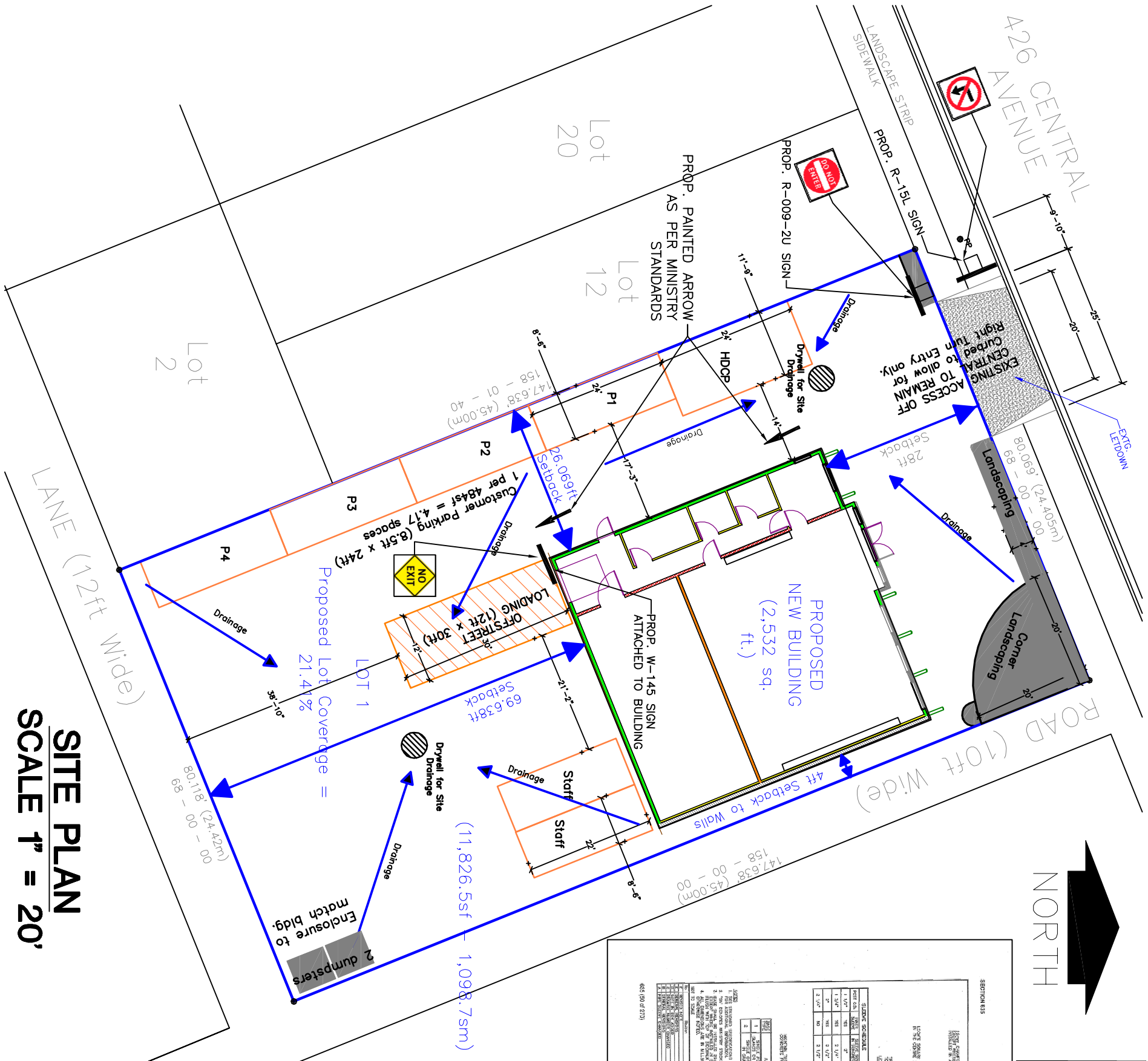


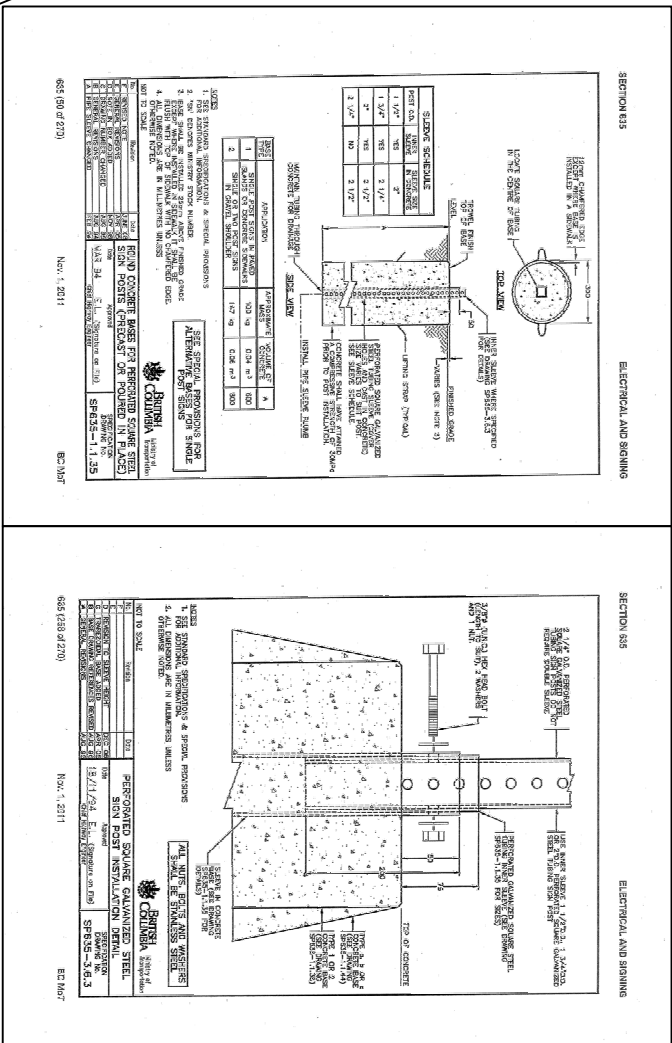
SCHEDULE OF SIGNS REQUIRED (THIS SHEET)						
SIGN OR DESIGNATION	DESCRIPTION OR MESSAGE	NEW				COMMENTS
		RELOCATE	1	2	ORR	
		1	2	POST	POST	MOUNT
R-009-2U	DO NOT ENTER			1		
R-15L	NO LEFT TURN			1		
W-145	NO EXIT			1		

NORTH



SITE PLAN

SCALE 1" = 20'



SCOPE OF FIELD REVIEW

ECORA ENGINEERING LTD PROVIDES FIELD REVIEW ONLY FOR THE WORK SHOWN ON THE STRUCTURAL DRAWINGS PREPARED BY ECORA. THIS REVIEW IS A PERIODIC REVIEW AT THE PROFESSIONAL JUDGEMENT OF ECORA. THE PURPOSE IS TO ASCERTAIN THAT THE WORK IS IN GENERAL CONFORMANCE WITH THE PLANS AND SUPPORTING DOCUMENTS PREPARED BY ECORA AND TO FACILITATE COMPLETION OF THE LETTERS OF ASSURANCE FOR BUILDING CODE AUTHORITIES. FIELD REVIEWS BY ECORA ARE NOT CARRIED OUT FOR THE BENEFIT OF THE CONTRACTOR(S) WORK. NOR DOES THE FIELD REVIEW MAKE ECORA GUARANTORS OF THE CONTRACTOR(S) WORK. IT REMAINS THE CONTRACTOR(S) SOLE RESPONSIBILITY TO PROVIDE HIS OWN QUALITY CONTROL AND TO PERFORM THE WORK WITH GOOD WORKMANSHIP AND IN CONFORMANCE WITH THE CONTRACT DOCUMENTS.

NOTE:- ALL CONSTRUCTION OR MATERIALS SHALL BE IN ACCORDANCE WITH THE ROKB CONSTRUCTION SPECIFICATIONS AND STANDARD DRAWINGS, AND THE CURRENT BC BUILDING CODE. - THE PERSON(S) CONSTRUCTING THE WORKS AS SHOWN ON THESE PLANS SHALL BE FAMILIAR WITH THE SPECIFICATIONS AND SITE CONDITIONS. - ANY MODIFICATIONS DURING CONSTRUCTION THAT DEVIATE FROM THE SPECIFICATIONS OR APPROVED CONSTRUCTION PLANS SHALL BE APPROVED BY THE ENGINEER AND THEN BY THE DISTRICT.

1	01/21/13	RSF	KJM	PRELIMINARY
NO.	DATE	M/D/Y	DRN/APD	DESCRIPTION
ISSUES/REVISIONS				

SEAL:

Ecora
Engineering Ltd.
Suite 101 - 208 Ellis Street
Penticton, BC, V2A 4L6
250-492-2227
www.ecora.ca

CLIENT:

BROWNRIDGE VENTURES

PROJECT NAME:

WINNIPEG LIQUOR STORE
426 CENTRAL AVE, GRAND FORKS, B.C.

DRAWING TITLE:

WINNIPEG LIQUOR STORE

SCALE: 1"=20'

DATE: JANUARY 21, 2013

DESIGN BY: KJM

DRAWN BY: RSF

CHECKED BY: KJM

PROJECT No.: PE-12-273-BVL

DRAWING No.:

SHEET
1 OF 1
REVISION
1



3D RENDERINGS

Rev. May 12/13
 5ft removed from Width
 Rev. May 24/13
 Reduced Size of Cooler Room
 Rev. June 5-13
 Cooler Room Wall to Bearing
 Truss sloping to Rear
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 ... by Grant ASCT, CRD, CEA

NOTES:
 FOR BUILDING PERMIT
 Use in conjunction with
 Engineers Drawings

Date: 10/06/2013
 Page: 1 of 9
 Scale: As Indicated

A1

STANDARD NOTES

- All work shall conform to the current BC Building Code (2006) Parts 9 & 10 and local Bylaws.
- All work shall be equal in all aspects to good building practices.
- Written dimensions take precedence over scaling from drawings.
- Any variances from the structural drawings and specifications, and/or adjustments required resulting from conditions encountered at the job site are the sole responsibility of the Owner and/or Builder.

ERRORS AND OMISSIONS

- Custom Drafting and Design by Grant makes every effort to provide complete and accurate building plans. However, we assume no liability for any errors or omissions that may affect construction. It is the responsibility of the Builder to check and verify all dimensions and details before proceeding with construction and/or excavation.
- Should any discrepancies be found on these plans please advise myself at your earliest convenience. By doing so I am able to make corrections to the drawings and replace any plans if necessary. In this way I can better serve you and prevent errors from recurring.

BUILDING PERMITS AND HOME OWNER WARRANTY PROTECTION

- Under no circumstances is work to commence until the Building Permit has been obtained.
- It is the responsibility of the Owner to obtain all the appropriate Building Permits and approvals from the authority having jurisdiction.
- It is the responsibility of the Owner to obtain a HPO number if he/she decides to undertake this project without a fully registered Builder.

RIPARIAN AND FLOODPLAIN

- It is the Owners responsibility to determine if their building location will invoke any Riparian and/or Floodplain issues.
- All costs associated with Riparian and/or Floodplain issues are the sole responsibility of the Owner.

STRUCTURAL DESIGN AND ENGINEERING

- In some instances it may be required to use beam sizes, framing details, foundation sizes, etc. not specified by the current BC Building Code. The governing Building Department may require confirmation by a certified Structural Engineer.
- In this area the Ground Snow Load often exceeds the design limits of the BC Building Code. In these instances a certified Structural Engineer is required to design and approve all supporting wall structures (i.e. Walls and Foundations).
- All costs for Structural Engineering are the responsibility of the Owner or Builder.

STRUCTURAL DESIGN CRITERIA

- Unless otherwise specified all dimensional lumber is Spruce/Pine/Fir #2 or better.
- Concrete Foundations and Slabs-on-Grade have a minimum compressive strength of 20 mpa at 28 days.
- Garage and Carport Slabs as well as exterior Steps have a minimum compressive strength of 32 mpa at 28 days.
- Assumed Soil Bearing Capacity is 1,500 psf (75 kN/m.sq)
- Roof Loads (Ground Snow Load) are dependent on Location and/or Elevation.
- Minimum Footing Depth for Frost Protection also varies from Location and/or Elevation.
- Residential Floor Loads are designed for a minimum 1.9 kPa.
- Residential Decks are designed for a minimum of 1.9 kPa or Snow Load, whichever is greater.
- Reinforcing Steel:
 - In Footings shall be placed 3” above base
 - In Walls and Columns 1 ½” beyond the inside face of formwork.
 - In Floor Slabs shall be placed in the center of slab

SITE PLAN NOTES

- The Owner and/or Builder are responsible for the correct siting of this building on the property.
- Custom Drafting and Design by Grant strongly recommends using a Registered Legal Land Surveyor to ensure the building is sited correctly and within all legal setbacks.
- Highways Access, driveways, potable water wells, and septic disposal systems are to be located and constructed in accordance with local governing bodies.

RENOVATIONS AND ADDITIONS

- Renovations and Additions of much older homes, particularly those that did not use Engineered Roof Trusses, may require Structural Engineering. These costs are the responsibility of the Owner.
- Additions in many rural areas require certification that the existing sewage disposal system will be able to handle any increased capacity due to the addition. This is the responsibility of the Owner.
- ALWAYS remeasure the area of construction, and roof slopes prior to commencing any construction and/or ordering materials (particularly roof trusses).

EXCAVATION, FOUNDATION AND BACKFILLING

- The excavation shall extend to a depth free of all organic and/or unsuitable materials.
- The excavated area shall be kept free from standing water.
- Foundations shall be concrete on solid undisturbed bearing.
- Bottom of all exterior footings and pads must be at the specified depth below grade for this region for frost protection.
- Foundation walls shall not be backfilled until concrete has reached its specified 28-day strength or until it is adequately braced subject to the approving authority.
- Grades shown on plans are estimated. Foundation wall heights may require adjustments to suit site conditions.
- All concrete, masonry and ICF foundation walls exceeding height limits specified by the current BC Building Code require Engineering.
- Perimeter drainage shall be installed where required by the approving authorities.
- Backfill materials shall consist of granular material compacted to 98% Standard Dry Proctor.
- All backfilling shall be carried out in a manner that prevents damage to the foundation, damp proofing membrane and/or any drain tile.

DIMENSIONING

- Exterior dimensions are from the outside face of exterior wall sheathing to the center of partition walls as well as door and window openings unless otherwise shown. Where there are attached Garages this dimension is to the Garage side of the Wall. The sheathing face of the exterior stud is assumed to be flush with the concrete foundation.
- Interior dimensioning is from the inside stud face to inside stud face unless otherwise indicated.

WOOD FRAMING

- Unless otherwise specified all dimensional lumber is Spruce/Pine/Fir #2 or better.
- All floor sheathing is min. 5/8” T & G Plywood unless otherwise noted.
- All roof sheathing is min. 7/16” OSB unless otherwise noted.
- All exterior wall sheathing is 7/16” OSB unless otherwise noted.
- Joists shall be doubled under parallel partitions over 6’-0” long.
- Joists shall be placed to accommodate plumbing, heating, etc. Pay particular attention to toilet locations.
- All Lintels, Headers and Beams shall be engineered Parallam PSL 2.0E unless noted otherwise. Provide manufacturers specification sheets at time of inspection.
- Provide manufactures specification sheets for engineered floor systems and engineered roof trusses at time of inspection.

ELECTRICAL AND HEATING

- Little to no Electrical or Heating is indicated on these plans.
- Electrical work requires a separate Permit and Inspections.
- Gas connections require a separate Permit and Inspections.
- Installation of all electrical items must comply with local electrical codes and regulations and with the local electric power supplier’s regulations in all aspects.
- Installation of entire heating systems, whether electric, forced warm air, or hot water, must comply with manufacturers directions and conform to local codes and regulations in all aspects.
- Fuel burning appliances, including furnaces, fireplaces and stoves to be provided with outside combustion air.

ENERGY AND WATER EFFICIENCY – Part 10 BC Building Code (2008)

- Unless alternatives to the requirements of Table 10.2.1.1 can be determined by methods specified in 10.2.1.1 (3) all those parts of buildings of less than 5 storeys in building height shall be provided with thermal insulation between heated and unheated spaces in conformance with Table 10.2.1.1 A
- There are three categories for insulation < 3500 Degree Days, 3500 Degree Days to 4500 Degree Days and > 4500 Degree Days.
- The flow rates of fittings that supply water to plumbing fixtures mist not exceed the maximum flow rates specified on Table 10.3.1.1
- The flush cycle for the installation of a water closet or urinal must not exceed the flush cycle listed for that fixture in Table 10.3.1.2
- 6-mil poly vapour barrier with a UV protection shall be installed on the warm side of insulation.
- Ceiling insulation may be loose fill type or batt type.
- Wall and wood floor insulation shall be batt type.
- Provide baffle for air space (equal to soffit venting) between the insulation and roof sheathing at the exterior wall line.
- Walls and ceilings between residence and attached garage or carport shall be insulated.
- All roof or attic spaces shall be ventilated with soffit, roof or gable vents, or a combination of these.
- Attics or roof spaces to be vented a minimum 1/300 of area.
- Unheated crawlspaces to be vented a minimum of 1/500 of area. Vents shall be uniformly distributed on opposite sides of the building, and designed to prevent the entry of snow, rain and insects.

DOORS

- Exterior doors shall be solid core and weather-stripped.
- Garage doors to dwelling units to be solid core, weather-stripped and self-closing.
- Sliding Glass doors shall have safety glass.
- Door sizes are shown by width x height. i.e. 2668 is 2’ - 6” x 6’ - 8”
- Openings in partitions shown without doors are full height unless shown as an arch or indicated as having a bearing capacity.

WINDOWS

- Due to the many styles of windows no information is provided on the plans as to which windows are operable. Consult with Owner when pricing.
- Each bedroom shall have at least one outside window or exterior door operable from the inside without the use of keys, tools or special knowledge. This window shall provide an unobstructed opening of not less than 3.76sf (0.35 sq. m). in area with no dimension less than 15” (380mm).
- Window sizes are shown by width x height. i.e. 6040 is 6’ - 0” x 4’ - 0”

FINISHING

- The Owner shall specify all interior and exterior finishing.
- Any finishing shown on the plans to be confirmed by the Owner.
- Unless otherwise noted all clothes closets have a finished depth of 24”

SITE GRADING

The site shall be graded to ensure surface water is directed away from the building.

GENERAL NOTES:

NOTICE TO OWNERS & CONTRACTORS
BC Building Code Requirements:
- **Building Security (Solid Blocking for Locks)**
- **Mechanical Ventilation**
- **Bedroom Window Emergency Escape**
RADON GAS BARRIER (Where Required)
- **6 mil poly under slab, joints lapped 1'-0" (min.)**
- **minimum 4" drain rock**
- **perimeter and penetration of basement slabs to be sealed with flexible sealant**

Provide ENGINEERED BEAM manufacturer's engineered specification sheet(s) for framing inspection.

Provide FLOOR TRUSS/JOIST manufacturer's engineered layout & specification sheets for framing inspection.

Provide ROOF TRUSS manufacturer's engineered layout & specification sheets for framing inspection.

FIREPLACES & WOOD STOVES
Must be installed to BC Bldg. Code
- **Combustion Air & Clearances**

DECKS & DECK SLOPE
-**Drop Decks to provide a minimum 4" drop from floor finishes.**
-**Provide positive Deck drainage away from building.**
-**On cantilevered Decks raise the Door thresholds**
a minimum 1 1/2" and cut tapers to provide positive drainage away from building.
-**If using dimensional timber provide 1/4" per foot slope.**
-**If using TJI's provide 1/8" per foot slope.**

INTERCONNECTED SMOKE ALARMS required on each storey.

CARBON MONOXIDE ALARMS
required in each Bedroom or within 5.0m of Bedroom door if outside

SAFETY AND TEMPERED GLASS
- **Doors & Sidelights**
- **Shower Doors**
- **Exposed Bathroom Windows**
- **Windows less than 18" from floor**

GARAGE ACCESS DOORS Solid Core clw Self Closers & Weatherstripping

BOTTOM OF ALL FOOTINGS min. 30" below Grade.

STEP FOOTINGS AS REQUIRED (Max. 2'-0" in 2'-0")

ATTIC VENTING RATIO 1/300
Minimum
-**Min. 25% req'd at eaves**
-**Min. 25% req'd at top of roof**
PERIMETER DRAINAGE (where req'd)
-**filter cloth clw 6" min. drain rock top & sides**
-**min. 4" drain pipe to drywell (min. 20ft. from foundation)**

SECONDARY SUITES
-**Where Secondary Suites are permitted provide a 1hr vertical fire separation and 45min horizontal fire separation.**
-**Provide separate heating and ventilation duct systems or they must be designed and installed to prevent circulation of smoke upon a signal from a duct-type smoke detector.**
-**Provide an additional interconnected smoke alarm of photo-electric type in each Suite.**

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5ft removed from Width
Rev. May 24/13
Reduced Size of Cooler Room
Rev. June 5-13
Cooler Room Wall to Bearing
Truss sloping to Rear
Rev. June 7-13
Eng. Notes Added
Cooler Room Extended
Rev. June 9-13
Front Entry, Utility/Storage
Ice Machine, Office Window

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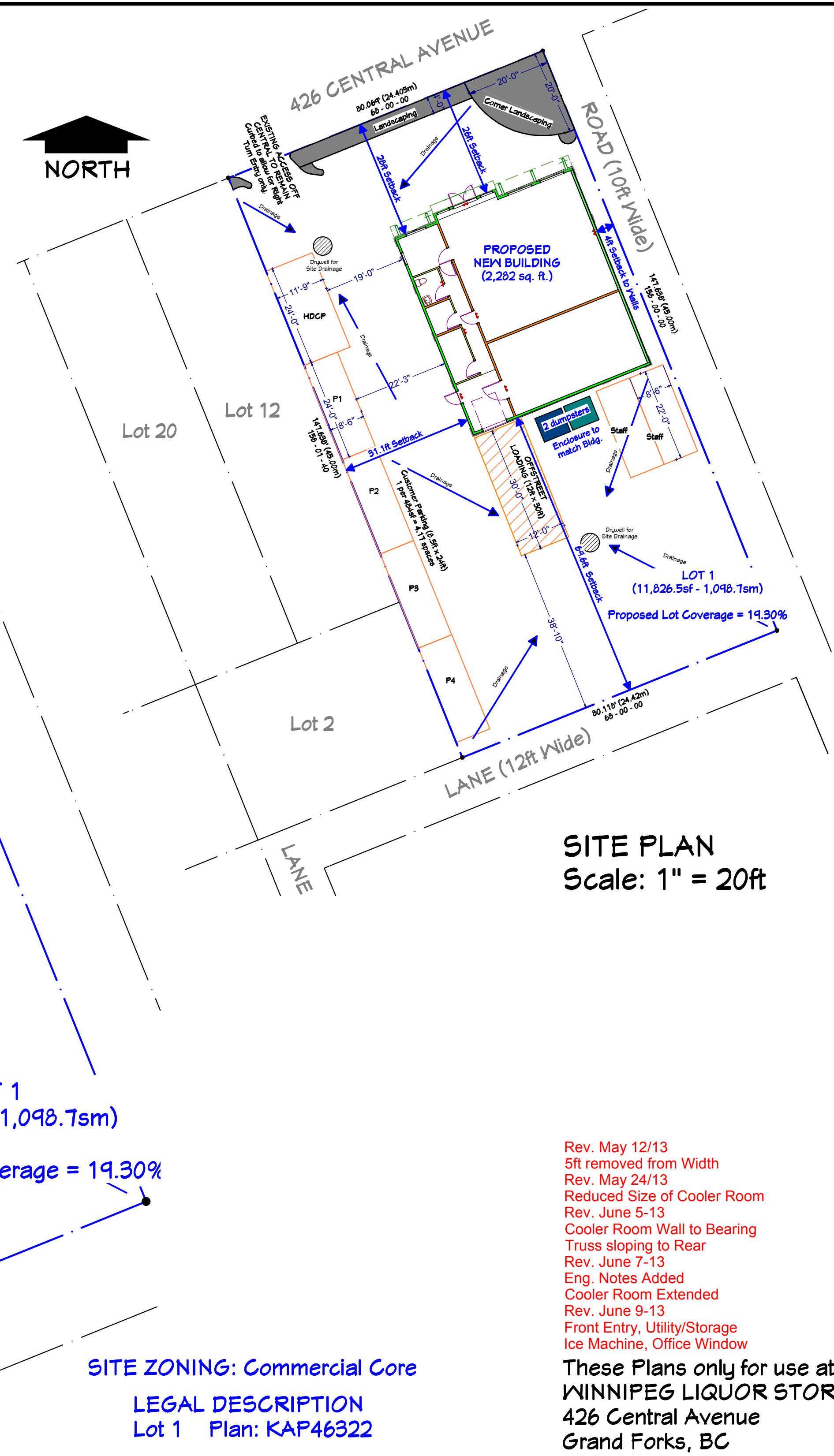
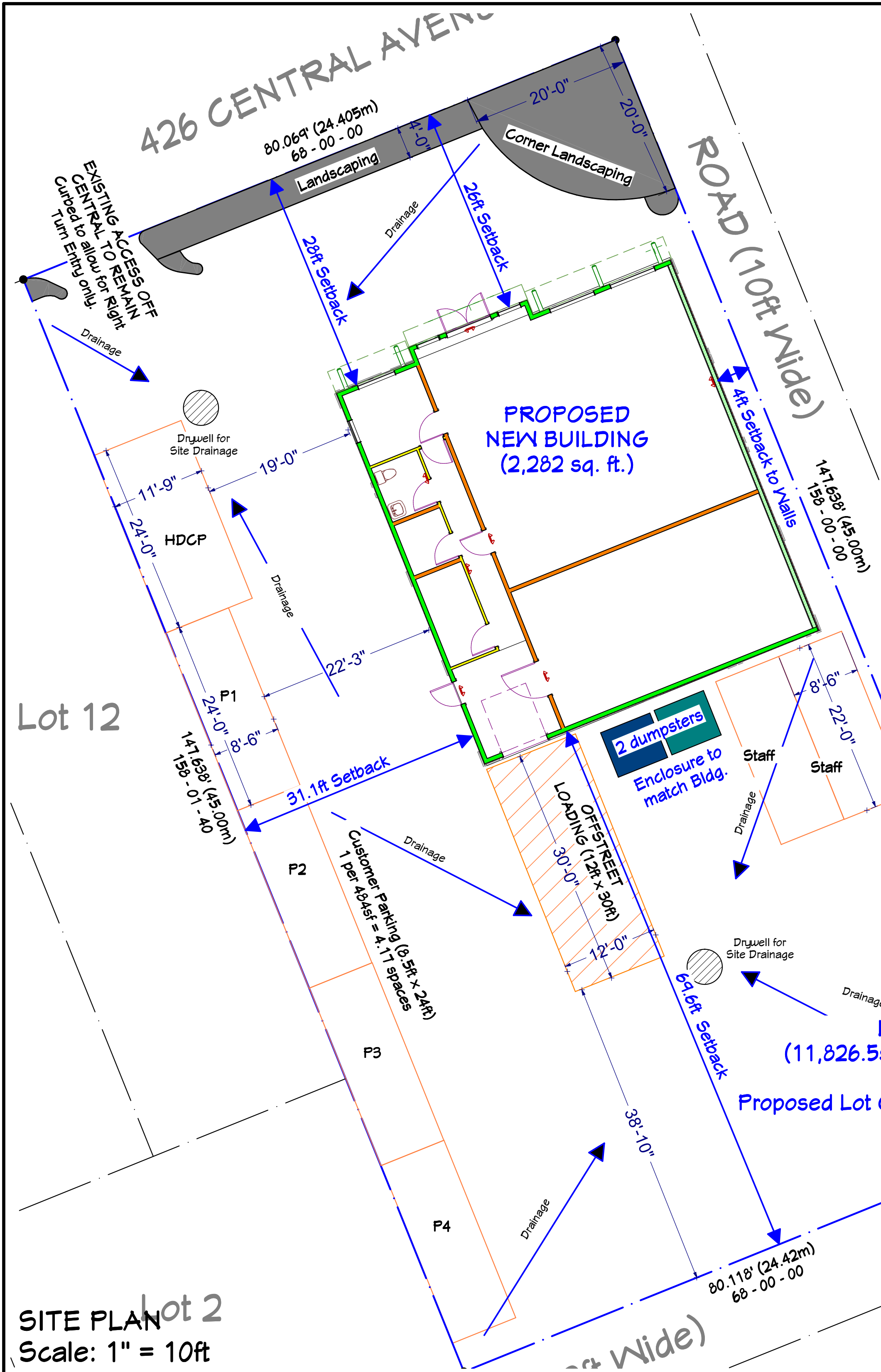
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Engineers Drawings

gmont@vip.net
Box 136, Osoyoos, BC
ph: (250) 415-5266

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... by Grant **AScT, CRD, CEA**

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A2



SITE ZONING: Commercial Core
LEGAL DESCRIPTION
 Lot 1 Plan: KAP46322

- Rev. May 12/13
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A3

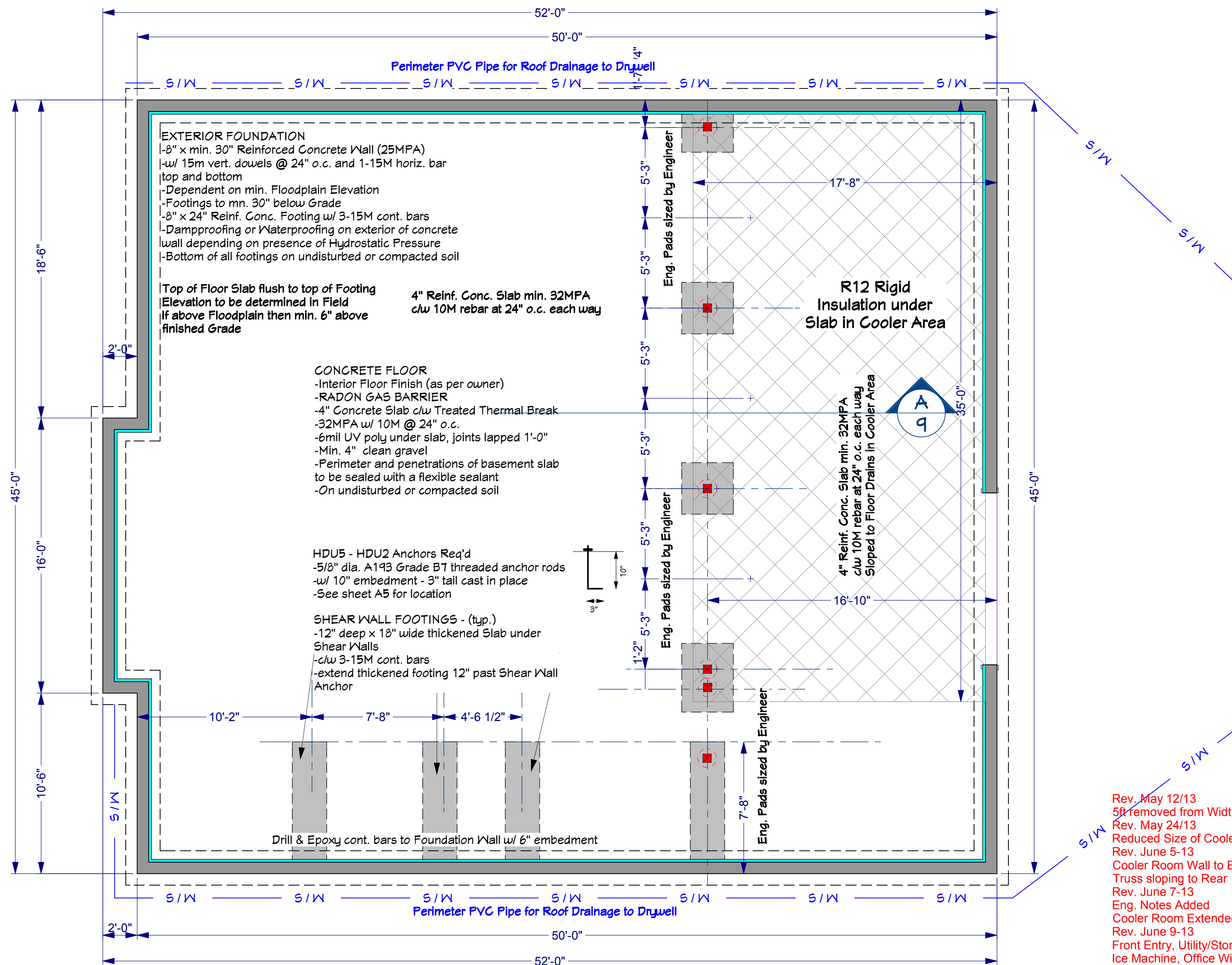
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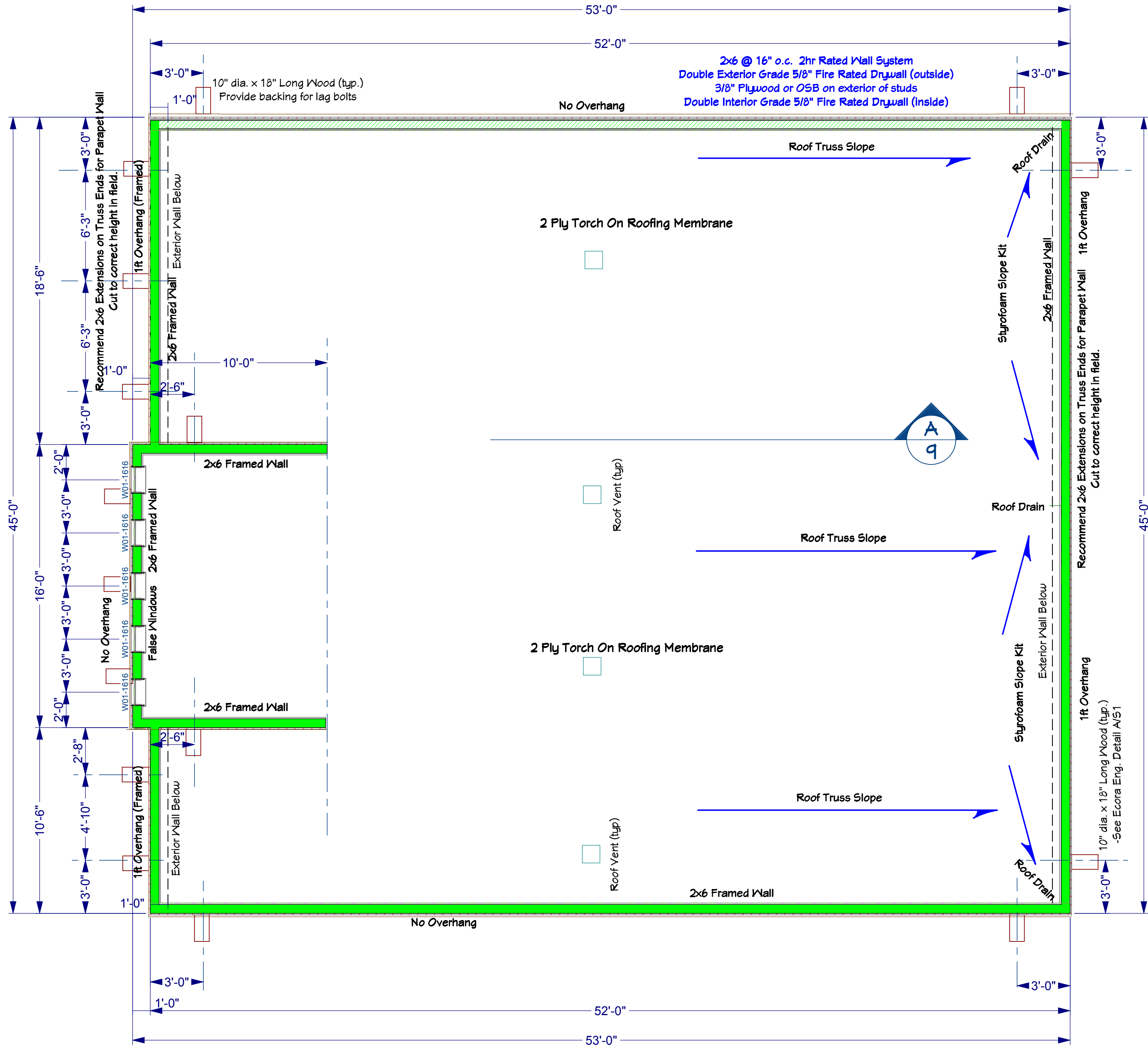
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FOUNDATION PLAN
Scale: 1/4" = 1' - 0"



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MAIN FLOOR PLAN
Scale: 1/4" = 1' - 0"

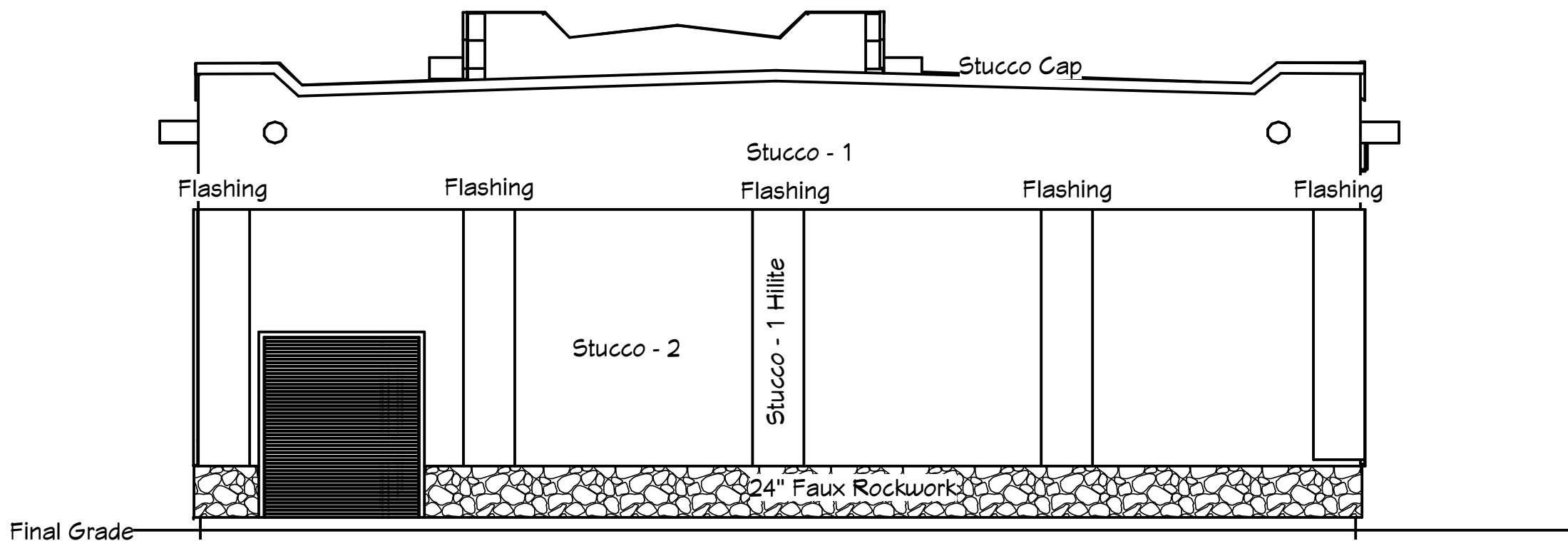


ROOF PLAN
Scale: 1/4" = 1' - 0"

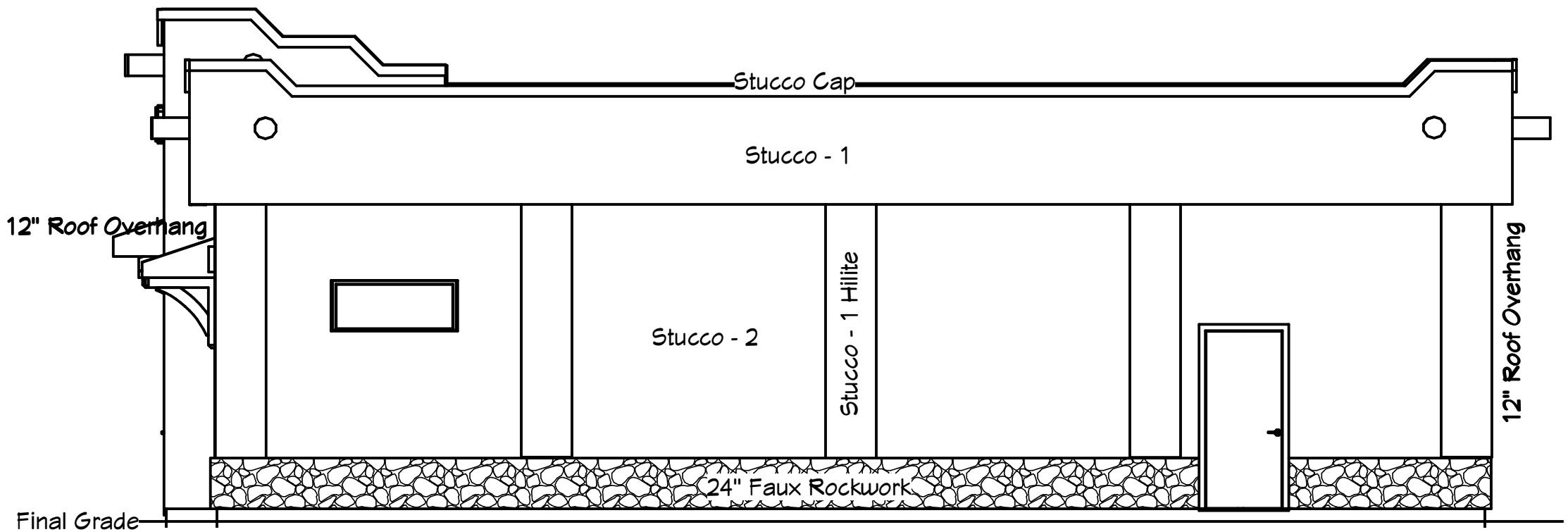
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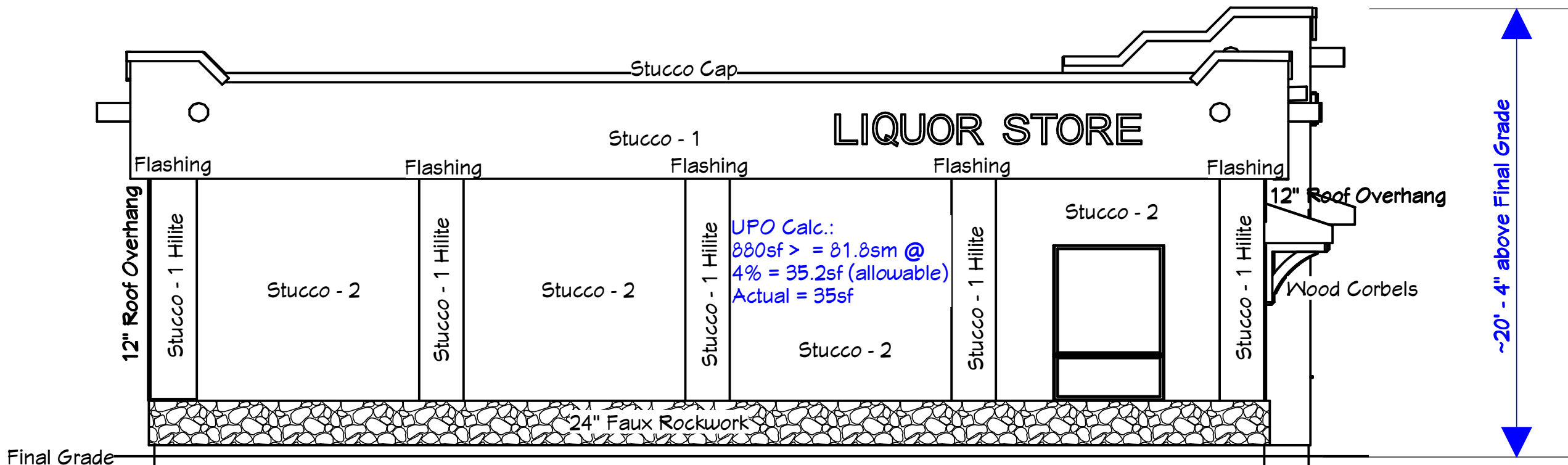
REAR ELEVATION
Scale: 3/16" = 1' - 0"



RIGHT ELEVATION
Scale: 3/16" = 1' - 0"



LEFT ELEVATION
Scale: 3/16" = 1' - 0"



FRONT ELEVATION
Scale: 3/16" = 1' - 0"



ROOM FINISH SCHEDULE	
ROOM NAME	STD. AREA (SQ FT)
COOLER	573
OFFICE	108
RETAIL	1162
SHIP/RECEIVE	245
HDCP BATH	53
STORAGE	83
UTILITY	49
TOTALS:	2273

DOOR SCHEDULE			
NUMBER	LABEL	QTY	FLOOR
D01	D01-3068	6	1
D02	D02-3070	1	1
D03	D03-4670	1	1
D04	D04-6070	2	1

WINDOW SCHEDULE			
NUMBER	LABEL	QTY	FLOOR
W01	W01-1616	5	2
W02	W02-3070	3	1
W03	W03-5070	1	1
W04	W04-6013	1	1
W05	W05-6070	2	1

~20' - 4" above Final Grade

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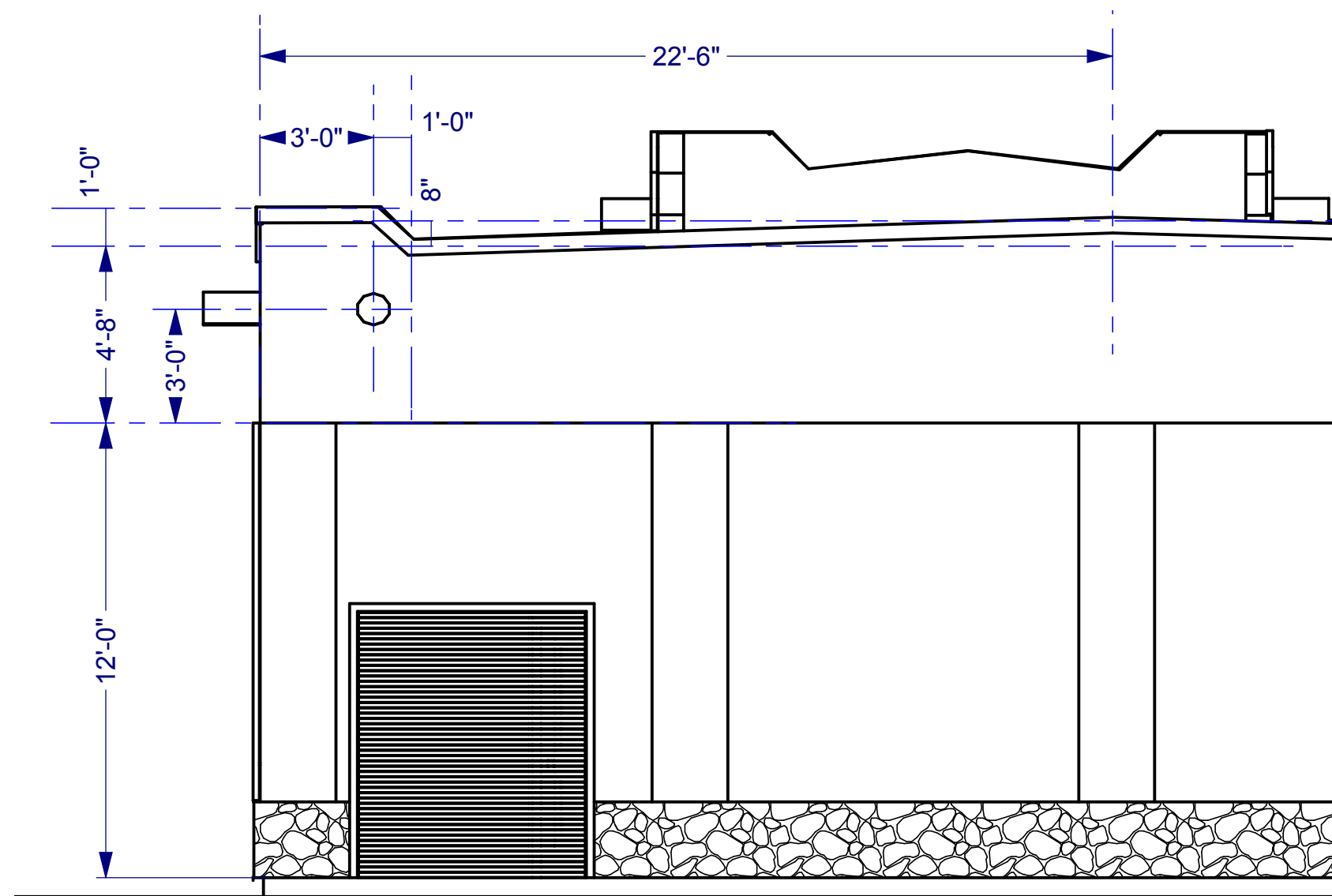
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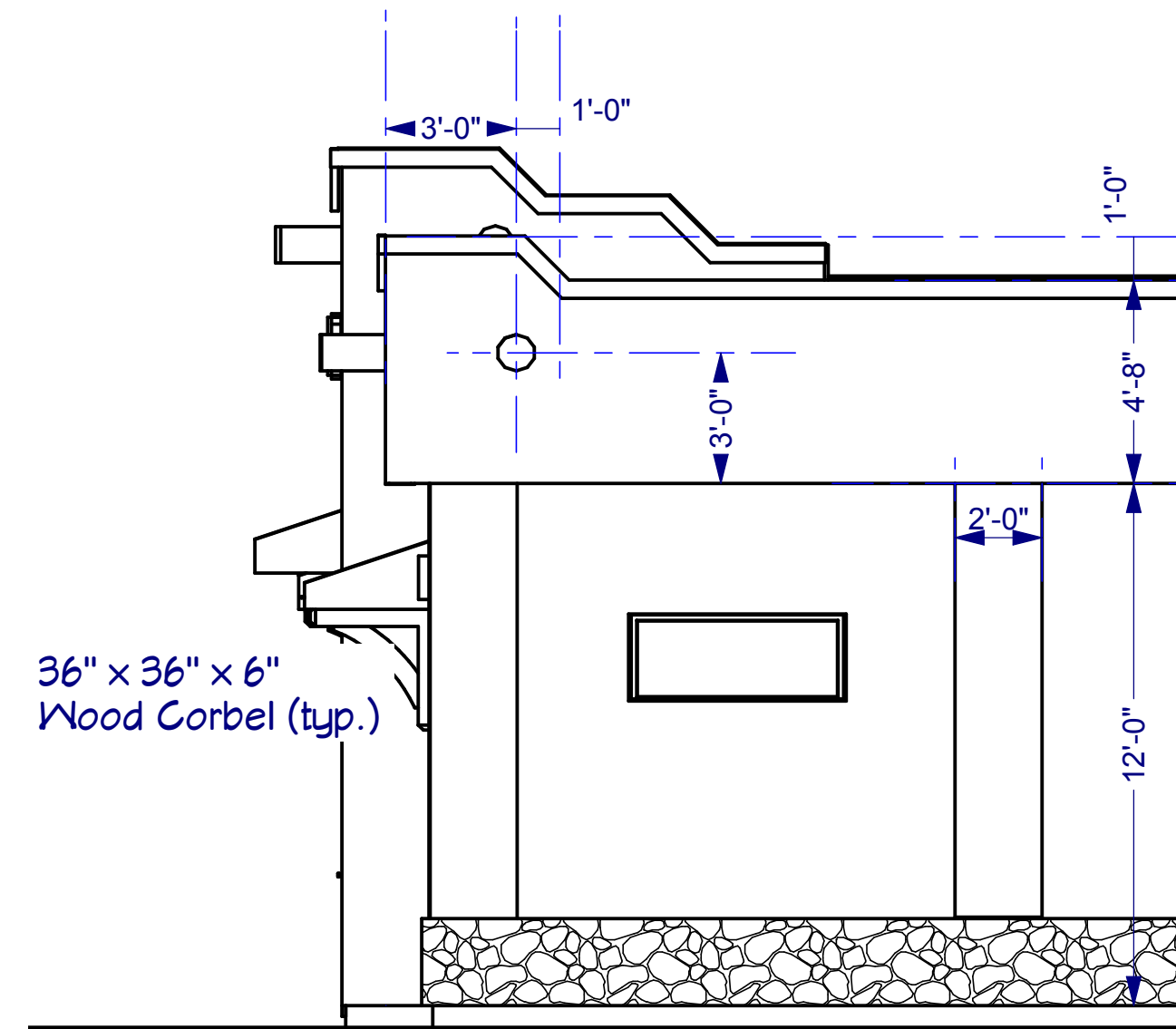
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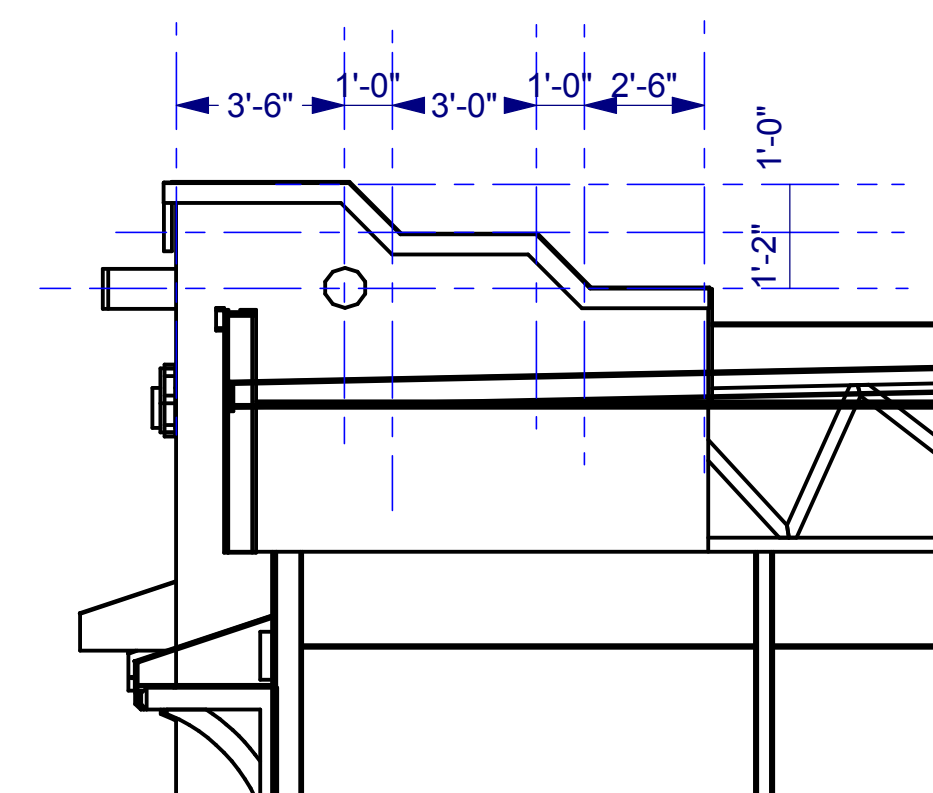
REAR LEFT PARAPET ELEVATION
Scale: 1/4" = 1' - 0"



FRONT RIGHT PARAPET ELEVATION
Scale: 1/4" = 1' - 0"



FRONT PARAPET ELEVATION
Scale: 1/4" = 1' - 0"



FRONT RIGHT RAISED PARAPET ELEVATION
Scale: 1/4" = 1' - 0"

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A8

- 1 - ROOF
 -2 Ply Torch On System
 -3/4" T & G Plywood/OSB
 -Manufactured Roof Trusses
 (See Truss Manufacturers Spec. Sheets)
 -Roof Vents as required

- 2 - ATTIC VENTING
 Roof Slope < 1 in 6 = Ratio of 1/150 min.
 and when using Roof Joists
 Trusses >= 1 in 6 = Ratio of 1/300 min.
 -Min. 25% req'd at eaves
 -Min. 25% req'd at top of roof

- 3 - FASCIA/SOFFIT
 -Aluminum Gutter and Downspouts
 -Continuously Vented Aluminum Soffits

- 4 - CEILING
 -Insulation Stops @ each truss
 -R40 Batt or Blown Insulation
 -6mil U.V. Vapour Barrier
 -5/8" Gypsum Board
 -Ceiling Finish (as per owner)
- T Bar Suspended Ceiling (except Cooler)

- 5a - EXTERIOR WALL
 -Stucco Exterior Finish c/w wire mesh
 -Building Paper
 -1/2" OSB for Stucco or Vertical Siding
 -2x6 @ 16" O.C.
 -2 Rows of Blocking 1/3 & 2/3 Wall Height
 -R20 Batt Insulation
 -6mil U.V. Vapour Barrier
 -1/2" Gypsum Board
 -Interior Finish (as per owner)

- 5b - EXTERIOR WALL
 -Stucco Exterior System
 -2-5/8" Ext. Grade Type 'X' Drywall
 -3/8" Plywood
 -2x6 @ 16" O.C. - Block as per Eng.
 -R20 Batt Insulation
 -6mil U.V. Vapour Barrier
 -2 - 5/8" Int. Grade Type 'X' Drywall
 -Interior Finish (as per owner)
- 6 - INTERIOR BEARING
 -See Eng. Notes on Foundationa and Floor Plan

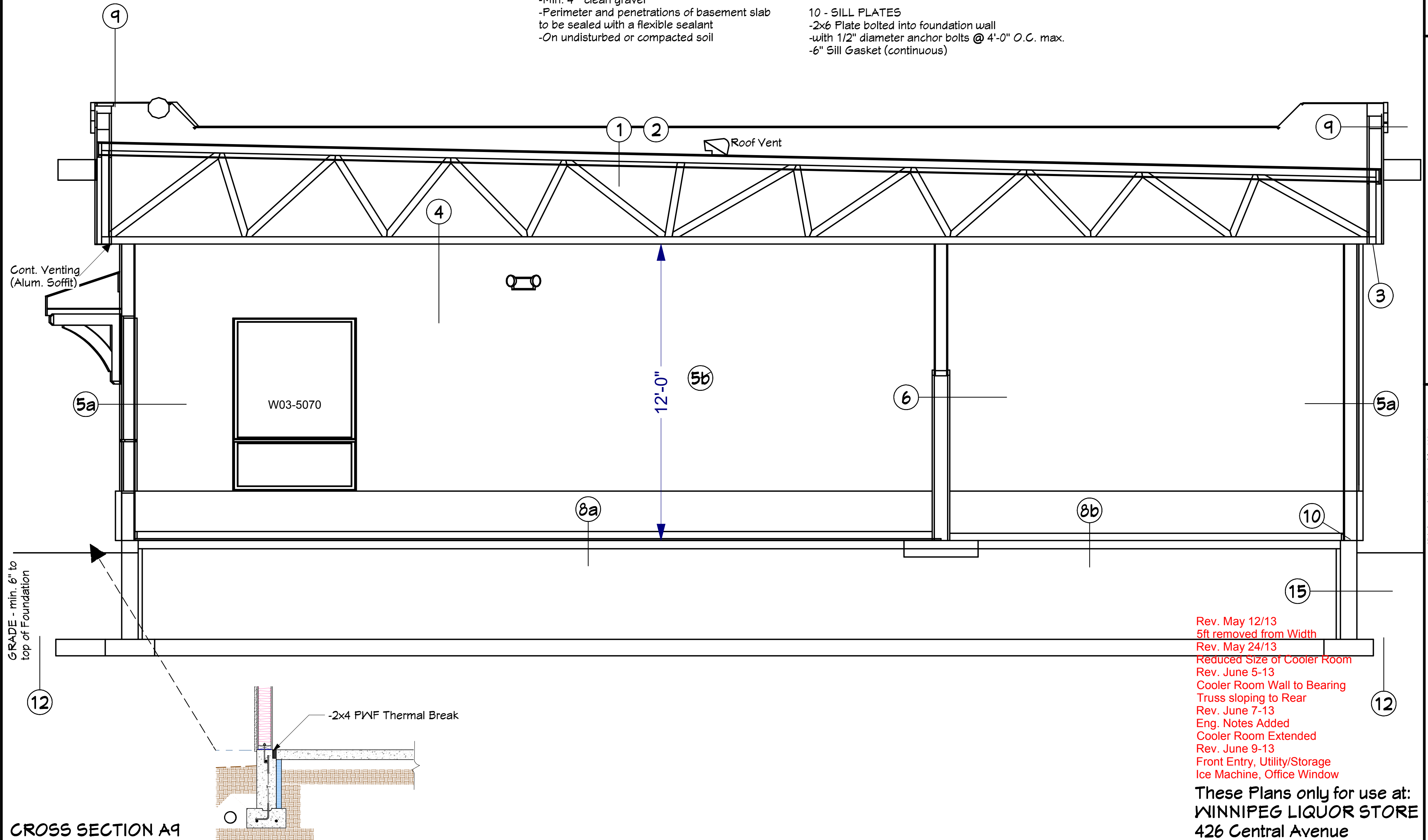
- 8a - FLOOR
 -Interior Floor Finish (as per owner)
 -RADON GAS BARRIER
 -4" Concrete Slab c/w Treated Thermal Break
 -32MPA w/ 10M @ 24" o.c.
 -6mil UV poly under slab, joints lapped 1'-0"
 -Min. 4" clean gravel
 -Perimeter and penetrations of basement slab
 to be sealed with a flexible sealant
 -On undisturbed or compacted soil

- 8b - COOLER ROOM FLOOR
 -Interior Floor Finish (as per owner)
 -RADON GAS BARRIER
 -4" Concrete Slab c/w Treated Thermal Break
 -32MPA w/ 10M @ 24" o.c.
 -R12 Rigid Insulation
 -6mil UV poly under slab, joints lapped 1'-0"
 -Min. 4" clean gravel
 -Perimeter and penetrations of basement slab
 to be sealed with a flexible sealant
 -On undisturbed or compacted soil

- 9 - PARAPET WALL
 -2x6 Studs with 1/2" Plywood both sides
 -Stucco app. both sides
 -Styrofoam Top Cap
 -Building Paper, Blue Skin and Grey Coat Top
 before putting cap on (no nails in top)
 -See Ecora Eng. Sheet S1 for Bracing Detail

- 10 - SILL PLATES
 -2x6 Plate bolted into foundation wall
 -with 1/2" diameter anchor bolts @ 4'-0" O.C. max.
 -6" Sill Gasket (continuous)

- 12 - PERIMETER DRAINAGE (where req'd)
 -filter cloth
 -6" min. drain rock top & sides
 -4" drain pipe to drywell
 (min. 20ft. from foundation)
- 15 - EXTERIOR FOUNDATION
 -8" x 30" min. Reinforced Concrete Wall (25MPA) on
 -8" x 24" Reinf. Conc. Footing (See Eng.)
 -Min. R12 Insulation to 2ft below frost line
 -Dampproofing or Waterproofing on exterior of concrete
 wall depending on presence of Hydrostatic Pressure
 -Bottom of all footings on undisturbed or compacted soil
 -See Eng. Notes Sheet A4



CROSS SECTION A9
 Scale: 3/8" = 1' - 0"

A9

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NOTES:
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 gmont@vip.net
 Box 136, Osoyoos, BC
 ph: (250) 415-5266

Custom Drafting & Design
 ... by Grant ASC, CRD, CEA